



Board Report

File #: 2021-0285, **File Type:** Agreement

Agenda Number: 5.

**FINANCE, BUDGET, AND AUDIT COMMITTEE
JUNE 16, 2021**

SUBJECT: REAL ESTATE AGREEMENTS WITH THE METROPOLITAN WATER DISTRICT OF SOUTHERN CALIFORNIA (MWD) FOR SECURITY IMPROVEMENTS AROUND MWD COURTYARD AND HEADQUARTERS BUILDING AT UNION STATION

ACTION: APPROVE RECOMMENDATIONS

RECOMMENDATION

CONSIDER:

- A. AUTHORIZING the Chief Executive Officer (CEO) or their designee to execute an easement to The Metropolitan Water District of Southern California (MWD) in which the Los Angeles County Metropolitan Transportation Authority (LACMTA) agrees to grant to MWD, and take all necessary steps to record, certain “Real Estate Interests” in the LACMTA-owned property located at the southernmost end of Union Station adjacent to MWD-owned property (“Permanent Easement”); and
- B. AUTHORIZING the CEO or their designee to execute a Second Amendment to the Agreement and Declaration of Covenants, Conditions, and Restrictions (CC&Rs) recorded on May 31, 1996 between MWD and Catellus Development Corporation.

ISSUE

In February 2018, MWD’s Board authorized final design of the physical security improvements to MWD headquarters. To expedite completion of the most critical upgrades, the upgrade work was prioritized and staged. Stage 1 upgrades improved exterior surfaces. Stage 2 upgrades enhanced access control and interior security protection. Stage 3 improvements will enhance perimeter security.

For MWD to move forward with stage 3 of MWD headquarter physical security improvements, MWD requires LACMTA to grant a Permanent Easement and amend the current CC&Rs for Union Station.

BACKGROUND

MWD acquired its headquarters site in 1996, which predates LACMTA’s acquisition in 2011. In 1996 easements were granted to MWD for the roadway, utility, north sewer and storm drain. During the

same year, CC&Rs were established between Catellus Development Corporation and MWD to ensure that the properties were developed, used and maintained as a high quality, unified development and to establish certain reciprocal rights for uses of common areas.

The MWD Headquarters Building is a 522,682 square-foot, concrete-frame structure consisting of a 12-story high-rise tower attached to a five-story wing. The building is located next to the Union Station transportation hub. The business functions located in this building are critical for maintaining the continuity of MWD's day-to-day operations. The Headquarters Building includes office space for approximately 840 MWD staff and meeting space for the Board of Directors and members of the public. MWD began occupying the Headquarters Building in 1998.

A threat and physical security assessment of the Headquarters Building was completed by MWD consultants in 2016. This assessment recommended the addition of several physical features to enhance the building's perimeter security, access control, and interior security protection systems. These recommendations are in conformity with best security practices for government buildings as stated in guidelines provided by the U.S. Department of Homeland Security. The recommended features to be added in a multi-phased approach include additional cameras, sensors and barriers, improved access control, and improved communication systems. Stage 3 improvements will enhance perimeter security along the exterior of the MWD site and courtyard and require real property rights from LACMTA.

DISCUSSION

Temporary fencing was installed around the MWD courtyard in 2018. MWD is now finalizing phase 3 of their security project which includes permanent physical security enhancements to the MWD courtyard and front entrance to the MWD HQ building. Permanent fencing will eventually replace the current temporary fencing. The transition is expected to be seamless as temporary fencing will remain up until the new permanent fencing is installed.

The permanent fencing design proposed will include four gates total, three main access gates and one after-hours gate. All gates will remain opening during business hours, except during lunch hours. During lunch hours, visitors will still have access to MWD cafeteria and courtyard through the West Visitors' entrance. Gates will be closed and locked after business hours. In addition to fencing, 23 bollards (10 stationary, 13 removable) are proposed to be installed throughout the easement. All fencing and bollards are subject to LACMTA standard guidelines and LACMTA will be given a set of keys to unlock the new removable bollards. The location of the improvements is depicted as Option 1 on Attachment A and further depicted in Attachments B, C and D.

Permanent Easement

The above-described improvements require a permanent easement of 1,148 square feet for MWD to install, construct, maintain, repair, replace, reconstruct and operate fences, gates and bollards.

The easements are mutually beneficial and in conformity with best security practices for government buildings as stated in guidelines provided by the U.S. Department of Homeland Security. Staff proposes to provide them at no charge to MWD. The fees for temporary rights during construction were waived by LACMTA.

Description of Amendment to Union Station CC&Rs

A second amendment to the CC&Rs is required to allow the closure of MWD's courtyard during lunch hours and after business hours. Currently, the CC&Rs allow partial closure of the courtyard during lunch hours.

Equity Platform

This addresses LACMTA's equity platform by focusing and delivering improvements, management and organized use of MWD plaza on Union Station property for the safety of businesses and transit customers.

DETERMINATION OF SAFETY IMPACT

This project will increase safety throughout plaza areas at Union Station.

FINANCIAL IMPACT

There is no financial impact to LACMTA. All construction and maintenance costs for fence, gates and bollards shall be borne by MWD.

Impact to Budget

No impact to budget

IMPLEMENTATION OF STRATEGIC PLAN GOALS

The recommendation supports strategic plan Goal 2: Outstanding trip experience for all users of the transportation system. 2.1 Metro is committed to improving security. Action: Explore and implement prevention tactics, promote prevention as a first measure to reduce frequency and severity of crimes.

ALTERNATIVES CONSIDERED

The Board could choose not to approve the recommendations. This is not recommended as it will hamper safety and security improvements at the MWD Plaza.

NEXT STEPS

Once the easement is granted, recorded and the CC&Rs are updated, MWD will obtain its building permits to construct the MWD Project.

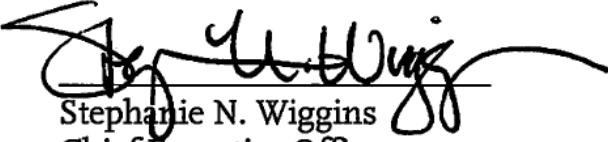
ATTACHMENTS

- Attachment A - Fencing Plan & Alternatives
- Attachment B - Fence Design and Bollard Look
- Attachment C - Design Plan
- Attachment D - Proposed Easement Map

Prepared by: Ken Pratt, DEO, Countywide Planning & Development, (213) 922-6288

John Potts, Executive Officer, Countywide Planning & Development, (213) 928-3397
Holly Rockwell, SEO - Real Estate, Transit Oriented Communities and Transportation
Demand Management, (213) 922-5585

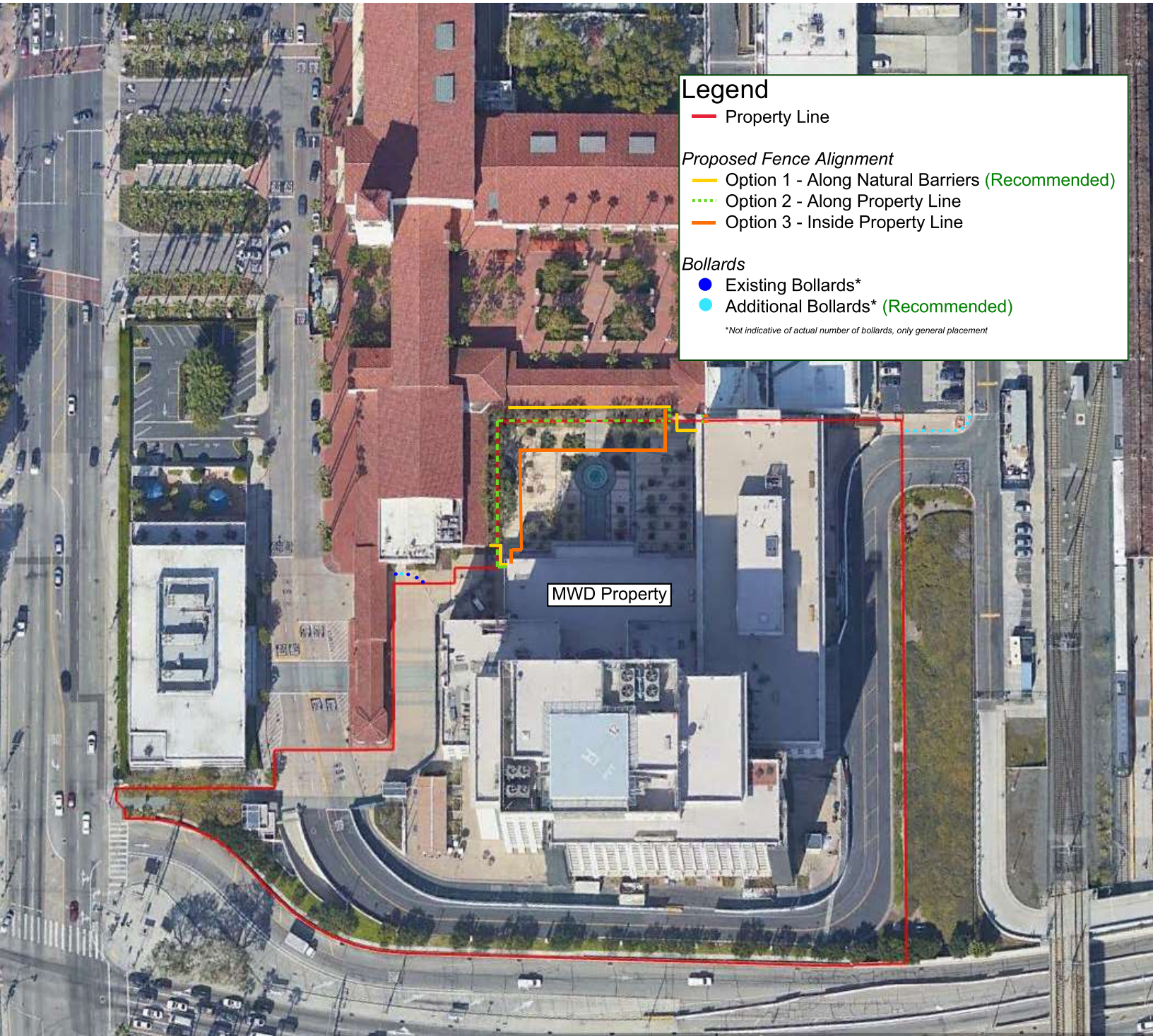
Reviewed by: James de la Loza, Chief Planning Officer, (213) 922-2920



Stephanie N. Wiggins
Chief Executive Officer

ATTACHMENT A

Fencing Plan & Alternatives



Legend

— Property Line

Proposed Fence Alignment

— Option 1 - Along Natural Barriers (Recommended)

... Option 2 - Along Property Line

— Option 3 - Inside Property Line

Bollards

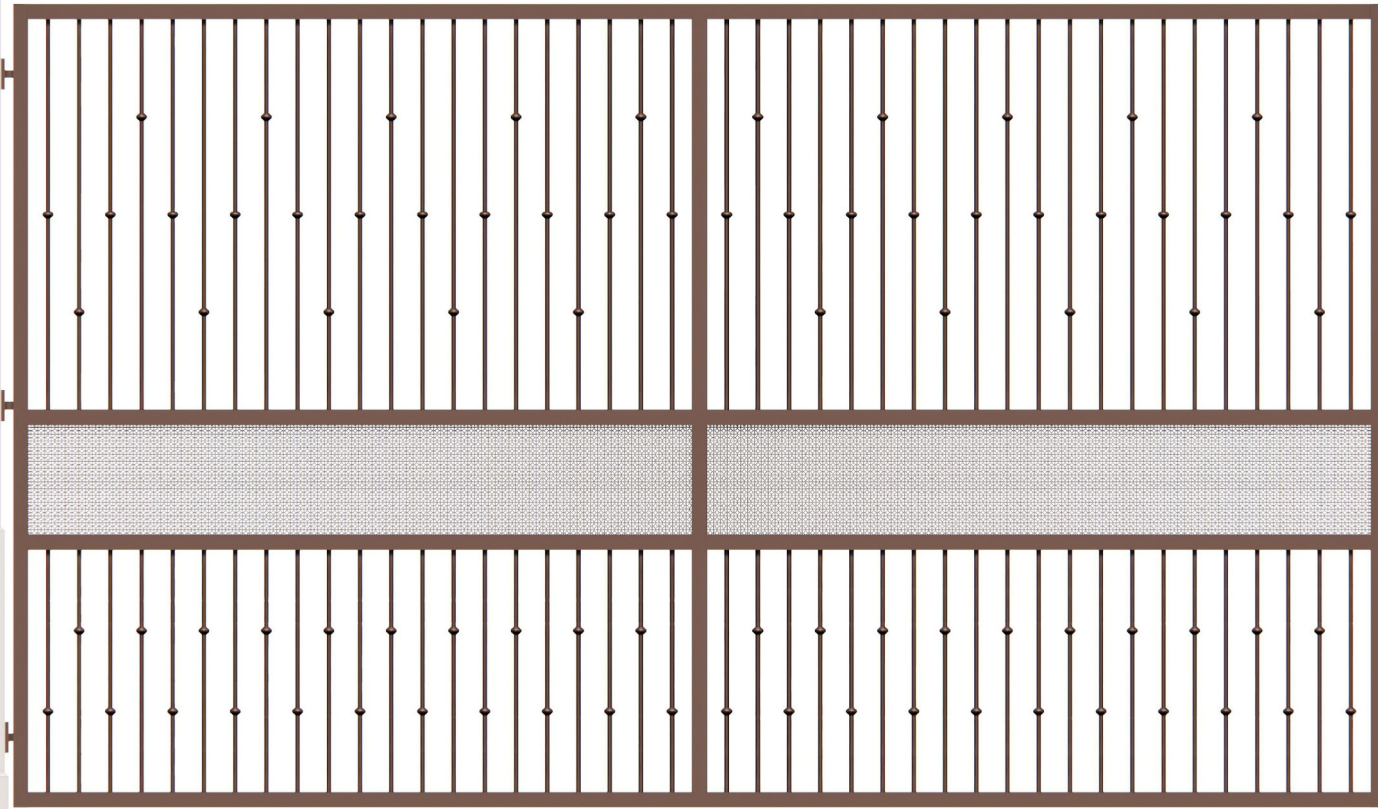
● Existing Bollards*

● Additional Bollards* (Recommended)

*Not indicative of actual number of bollards, only general placement

MWD Property

ATTACHMENT B
Fence Design and Bollard Look



Typical Fence Elevation at Arcade

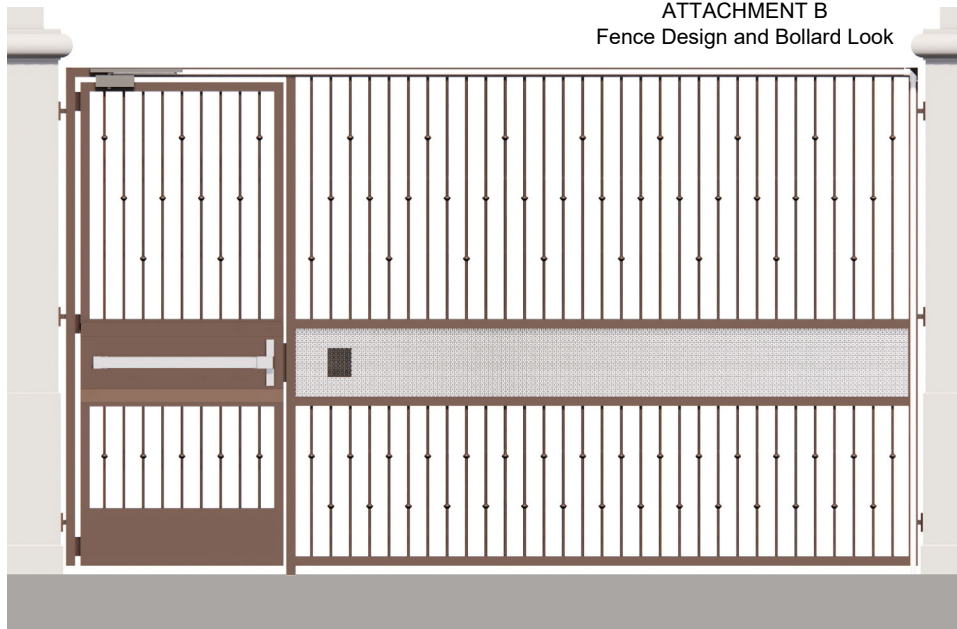
Ornamental Fence Design

Headquarters Building Exterior Physical Security Improvements
116535

2021/01/28



ATTACHMENT B
Fence Design and Bollard Look



Single Gate Elevation



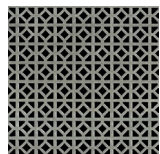
Short Fence Elevation



5/8" pickets



1-1/2"W x
1"H



Perforated
Metal Panel



Double Gate Elevation

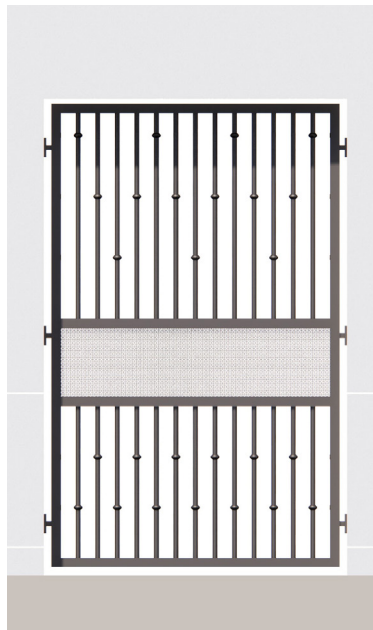
Ornamental Fence Design

Headquarters Building Exterior Physical Security Improvements
116535

2021/01/28



ATTACHMENT B
Fence Design and Bollard Look



Picket Design Option 2



Picket Design Option 3



**Combination
Fence Color: Brown
(Recommended)**

Ornamental Fence Design



Stainless Steel Bollard Designs



Domed Stainless Steel
(Recommended)



Modern Stainless Steel

ATTACHMENT C
Design Plan



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CONSULTANT:

STATE SEAL:

**NOT FOR
CONSTRUCTION**

HEADQUARTERS BUILDING PHYSICAL SECURITY IMPROVEMENTS

PROJECT
HEADQUARTERS BUILDING
EXTERIOR
PHYSICAL SECURITY IMPROVEMENTS

SPECIFICATION NO.: 2003
PROJECT NUMBER: 105168
DRAWING NUMBER:
APPROVAL SHEET NO.:
ADDRESS:
700 N. ALAMEDA ST.
LOS ANGELES, CA 90012

REVISIONS:

DELTA	TITLE	DATE	BY
-------	-------	------	----

PROJECT TEAM

OWNER:
METROPOLITAN WATER DISTRICT
700 N. ALAMEDA STREET
LOS ANGELES, CA 90012
PHONE: (213) 217-7080
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CONTACT: MIKE CLAISSE
PROJECT MANAGER

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CONTACT: CRAIG ATKINSON
ARCHITECT OF RECORD

STRUCTURAL:
ABS CONSULTING
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IRVINE, CA 92602
PHONE: (714) 734-2583
FAX: -
CONTACT: TRACY RICH
PROJECT MANAGER

CONFIDENTIAL METROPOLITAN INFORMATION

PM: GENERAL
PE:
SENIOR TECH MGR.:
DRAWN BY: AO
SCALE:
DATE: 04/22/21
JOB NO.: 116535
SHEET TITLE:

COVER SHEET

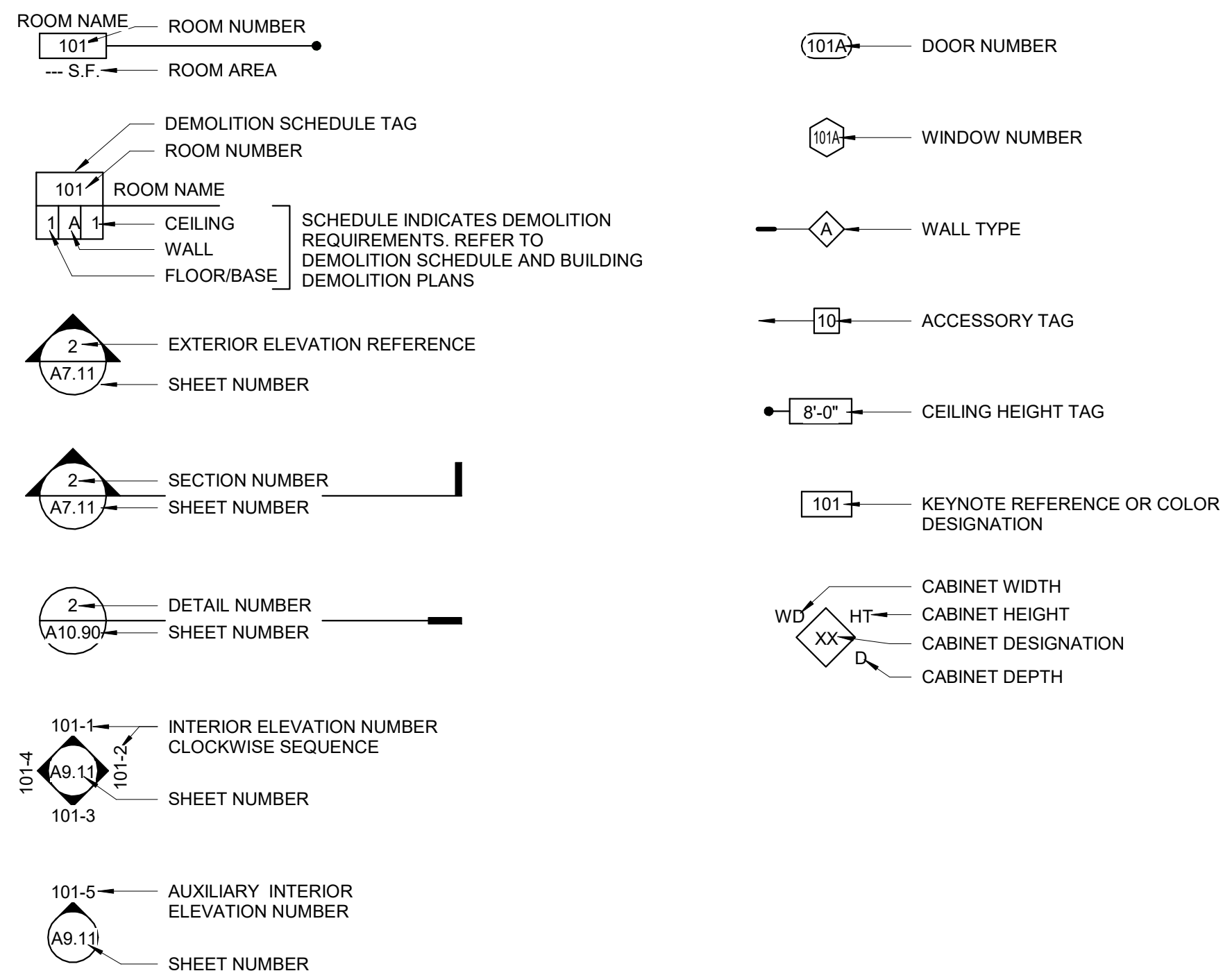
SHEET NO.:

G0000

ABBREVIATIONS

A	- ACCESSIBLE
AB	- ANCHOR BOLT
AC	- ASPHALT CONCRETE
A/C	- AIR CONDITIONING
ACOUS	- ACOUSTIC
ADD	- ADDENDUM
ADJ	- ADJUTANT or ADJACENT
AGG	- AGGREGATE
ALT	- ALTERNATE
ALUM	- ALUMINUM
APP	- APPROXIMATE
APPROX	- APPROXIMATE
ARCH	- ARCHITECT (URAL)
BD	- BOARD
BEL	- BELOW
BLDG	- BUILDING
BLKG	- BLOCKING
BOT	- BOTTOM
BUR	- BURST UP ROOFING
C	- CARPET
CAB	- CABINET
CB	- CATCH BASIN
CEM	- CEMENT
CF	- CUBIC FOOT
CFE	- COUNTERFLASHING
CHAM	- CHAMFER
CJ	- CONTROL JOINT
CLG	- CEILING
CLR	- CLEAR
CT	- CERAMIC MOSAIC (TILE)
CMU	- CONCRETE MASONRY UNIT
CO	- CLEAN OUT
COL	- COLUMN
CONC	- CONCRETE
CONT	- CONTINUOUS or CONTINUE
CONST	- CONSTRUCTION
COTF	- CLEAN OUT THRU
COTG	- CLEAN OUT TO GRADE
COTW	- CLEAN OUT THRU WALL
CSK	- CASING
CSMT	- CASSEMENT
CTSK	- COUNTERSUNK SCREW
CW	- COLD WATER
DET	- DETAIL
DF	- DRINKING FOUNTAIN
DI	- DIAMETER
DIAG	- DIAGONAL
DM	- DIMENSION
DIV	- DIVISION
DK	- DOOR
DS	- DOWNSPOUT
DWG	- DRAWING
E	- ENAMEL
EA	- EACH
EB	- EXPANSION BOLT
EFS	- EXTERIOR INSULATION FINISHING SYSTEM
EJ	- EXPANSION JOINT
ELEV	- ELEVATION
ELECT	- ELECTRICAL
EMER	- EMERGENCY
ENCL	- ENCLOSURE (URE)
EQ	- EQUAL
EQUIP	- EQUIPMENT
EXH	- EXHAUST
EXP	- EXPOSED
EXT	- EXTERIOR
(F)	- FUTURE
FAB	- FABRICATION
FAC	- FACTORY
FBO	- FURNISHED BY OTHERS
FD	- FLOOR DRAIN
FF	- FINISHED FLOOR
FHMS	- FLAT HEAD MACHINE SCREW
FHWS	- FLAT HEAD WOOD SCREW
FIN	- FINISH
FLR	- FLOOR JOIST
FLUOR	- FLUORESCENT
FND	- FOUNDATION
FOF	- FACE OF FINISH
FOP	- FACE OF PLYWOOD
FOS	- FACE OF STUD
FR	- FRAME (D), (ING)
FRP	- FIBERGLASS REINFORCED PLASTIC PANELS
FTG	- FOOTING
FURR	- FIRRED (ING)
GA	- GAUGE
GI	- GYPSUM BOARD
GI	- GALVANIZED IRON
GKT	- GASKET (ED)
GL	- GLASS or GLAZING
GLV	- GALVANIZED
GSM	- GALVANIZED SHEET METAL
GYP	- GYPSUM
HB	- HOSE BIBB
HDW	- HARDWOOD
HEX	- HEXAGONAL
HM	- HOLLOW METAL (STEEL)
HT	- HORIZONTAL
HOR	- HEIGHT
HVAC	- HEATING VENTILATING AIR CONDITIONING
HW	- HOT WATER
ID	- INSIDE DIAMETER
INCL	- INCLUDE (D), (ING)
INSTR	- INSTRUCTION (S)
INSUL	- INSULATE (D), (ION)
INT	- INTERIOR
INV	- INVERT
JST	- JOIST
JT	- JOINT
LAM	- LAMINATE (D)
LAV	- LAVATORY
LB	- LAG BOLT
LVR	- LOWER
LCP	- LAY-IN CEILING PANEL
MAS	- MASONRY
MATL	- MATERIAL
MAX	- MAXIMUM
MB	- MACHINE BOLT

SYMBOLS LEGEND



APPLICABLE CODES

CALIFORNIA CODE OF REGULATIONS, TITLE 24 - BUILDING STANDARDS

2019	CALIFORNIA ADMINISTRATIVE CODE (CAC) (Title 24, Part 1, CCR)
2019	CALIFORNIA BUILDING CODE (CBC) (Volumes 1 & 2) (Title 24, Part 2, CCR) (2018 International Building Code with 2018 California amendments)
2019	CALIFORNIA ELECTRICAL CODE (Title 24, Part 3, CCR) (2018 National Electrical Code with 2018 California amendments)
2019	CALIFORNIA MECHANICAL CODE (CMC) (Title 24, Part 4, CCR) (2018 Uniform Mechanical Code with 2018 California amendments)
2019	CALIFORNIA PLUMBING CODE (CPC) (Title 24, Part 5, CCR) (2018 Uniform Plumbing Code with 2018 California amendments)
2019	CALIFORNIA ENERGY CODE (Title 24, Part 6)
2019	CALIFORNIA HISTORICAL BUILDING CODE (Title 24, Part 8, CCR) (2018 International Building Code with 2018 California amendments)
2019	CALIFORNIA FIRE CODE (CFC) (Title 24, Part 9, CCR) (2018 International Fire Code with 2018 California amendments)
2019	CALIFORNIA EXISTING BUILDING CODE (Title 24, Part 10, CCR) (2018 International Existing Building Code with 2018 California amendments)
2019	CALIFORNIA GREEN BUILDING STANDARDS CODE (CALGREEN) (Title 24, Part 11, CCR) - 2018 California Green Building Standards Code applies at those portions designated by California Building Standards Commission
2019	CALIFORNIA REFERENCE STANDARDS CODE (Title 24, Part 12, CCR)
2010	ADA STANDARDS FOR ACCESSIBILITY DESIGN, U.S. Department of Justice
2016	NFPA 13, STANDARD FOR THE INSTALLATION OF SPRINKLER SYSTEMS, 2015 Edition
2016	NFPA 72, NATIONAL FIRE ALARM CODE AND SIGNALING CODE, 2015 Edition

NOTE: SOME CODES MAY NOT APPLY IF WORK REGULATED BY SUCH CODES IS NOT WITHIN THE SCOPE OF THIS PROJECT.

GENERAL NOTES

- THE CONTRACTOR SHALL BECOME FAMILIAR WITH THE WORK PRIOR TO BID. CONTRACTOR SHALL VERIFY EXISTING CONDITIONS AND DIMENSIONS AND SHALL REPORT ANY DISCREPANCIES OR UNIDENTIFIED CONDITIONS TO THE METROPOLITAN WATER DISTRICT FOR RESOLUTION BEFORE BEGINNING WORK.
- ANY DAMAGE TO EXISTING IMPROVEMENTS IN THE EXECUTION OF THE WORK IN THIS CONTRACT SHALL BE REPAIRED OR REPLACED BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE METROPOLITAN WATER DISTRICT OF SOUTHERN CALIFORNIA.
- DO NOT SCALE THE DRAWINGS. CONTRACTOR SHALL FIELD VERIFY ALL DIMENSIONS.
- DIMENSIONS, DETAILS, NOTES AND SYMBOLS THAT APPLY TO ONE UNIT, APPLY TO ALL UNITS IN LIKE SITUATIONS.
- UNLESS SPECIFICALLY SHOWN OR NOTED ON THE DRAWINGS, NO STRUCTURAL MEMBER SHALL BE CUT, NOTCHED, BORED OR OTHERWISE MODIFIED WITHOUT THE PERMISSION OF THE STRUCTURAL ENGINEER OF RECORD. SEE MECHANICAL AND PLUMBING DRAWINGS FOR LOCATIONS OF FLOOR OR AREA DRAINS, LOUVERS, HEATING UNITS AND WET UTILITIES.
- INSTALLATION SHALL FOLLOW THE MANUFACTURER'S PUBLISHED SPECIFICATIONS AND/OR TRADE STANDARDS IN ADDITION TO MEETING OR EXCEEDING THE REFERENCED STANDARDS IDENTIFIED IN THE SPECIFICATIONS.
- ALL PIPING AND CONDUIT SHALL BE LOCATED WITHIN WALLS AND AS HIGH AS POSSIBLE ABOVE CEILING. MECHANICAL, PLUMBING, AND ELECTRICAL DRAWINGS ARE DIAGRAMMATIC AND DO NOT SHOW EXACT LOCATIONS.
- ALL DIMENSIONS ARE TO FACE OF STUD OR CENTERLINE OF COLUMN UNLESS NOTED OTHERWISE.
- THE CONTRACTOR SHALL NOTIFY THE METROPOLITAN WATER DISTRICT OF ANY DISCREPANCIES IN THE DOCUMENTS PRIOR TO PROCEEDING WITH ANY WORK INVOLVED.
- MATERIALS CONTAINING ASBESTOS ARE STRICTLY PROHIBITED FROM USE IN THIS PROJECT.
- ALL WORK IS NEW UNLESS OTHERWISE NOTED. REVIEW EXISTING DRAWINGS AND SITE TO DETERMINE WHAT SELECTIVE DEMOLITION MUST TAKE PLACE IN ORDER TO INSTALL NEW WORK. (SEE SPECIFICATIONS SECTION 02010)
- SF AREAS IF PROVIDED ON CONTRACT DOCUMENTS ARE NOT FOR BIDDING PURPOSES. CONTRACTOR TO DO HIS OWN TAKEOFFS.
- REFERENCES TO ANY DETAIL OR DRAWINGS IS FOR CONVENIENCE ONLY AND DOES NOT LIMIT THE APPLICATION OF SUCH DETAIL OR DRAWINGS. DIMENSIONS AND CONDITIONS AT THE JOB SITE SHALL BE VERIFIED BY THE CONTRACTOR.
- THE CONTRACTOR SHALL PROVIDE THE NECESSARY BLOCKING, BACKING, FRAMING, HANGERS OR OTHER SUPPORT FOR ALL FIXTURES, EQUIPMENT, PIPING, CABINETRY, FURNISHINGS, WINDOW COVERINGS, RAILINGS AND ALL OTHER ITEMS REQUIRING THE ABOVE.
- THE CONTRACTOR SHALL INCLUDE IN THEIR BID ALL CORING, PATCHING AND REPAIRING REQUIRED FOR THE JOB INCLUDING (BUT NOT LIMITED TO) STRUCTURAL ITEMS, MECHANICAL, ELECTRICAL AND PLUMBING LINES, FIXTURE AND SITE WORK.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE ACCURATE PLACEMENT OF WORK REQUIRED AS PART OF THESE CONSTRUCTION DOCUMENTS.
- THE CONTRACTOR SHALL VERIFY THE EXACT LOCATIONS OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MAY BE OCCASIONED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL DAMAGES WHICH MAY BE OCCASIONED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.
- AREAS SUCH AS WALLS, DOORS AND FRAMES THAT ARE PART OR AFFECTED BY NEW WORK SHALL BE THOROUGHLY CLEANED AND PREPARED TO RECEIVE NEW PAINT IN ACCORDANCE WITH SPECIFICATION SECTION 09500.
- "PROVIDE" = "FURNISH AND INSTALL"

PROJECT DESCRIPTION

THE FOLLOWING IS A BRIEF DESCRIPTION OF THE SCOPE OF WORK. CONTRACTOR SHALL DETERMINE/VERIFY THE ENTIRE SCOPE AS SHOWN ON THE DRAWINGS AND SPECIFICATIONS PRIOR TO SUBMITTING BIDS.

- PHYSICAL SECURITY IMPROVEMENTS AT THE MWD HEADQUARTERS BUILDING. THE SCOPE OF THE PROJECT INCLUDES THE INSTALLATION OF NEW BOLLARDS AROUND THE PERIMETER OF THE SITE AND THE INSTALLATIONS OF AN ORNAMENTAL FENCE AT THE NORTH, NORTHEAST AND SOUTHWEST PORTIONS OF THE SITE.

ATTACHMENT C
Design Plan

SHEET INDEX

GENERAL	
G0000	COVER SHEET
G1000	GENERAL NOTES

ARCHITECTURAL

A1000	SITE DEMOLITION PLAN
A1100	SITE PLAN
A1200	SITE ENLARGED PLAN - ORNAMENTAL FENCE
A1201	SITE ENLARGED SITE PLANS - PHYSICAL SECURITY
A1202	ENLARGED SITE PLANS - PHYSICAL SECURITY
A8001	DETAILS
A8002	DETAILS
Grand total:	9



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CONSULTANT:

STATE SEAL:

PROJECT
HEADQUARTERS BUILDING EXTERIOR PHYSICAL SECURITY IMPROVEMENTS

SPECIFICATION NO.: 2003
PROJECT NUMBER: 105168
DRAWING NUMBER:
APPROVAL SHEET NO.:

ADDRESS:
700 N. ALAMEDA ST.
LOS ANGELES, CA 90012

REVISIONS:

DELTA	TITLE	DATE	BY
15%	CHECKSET	MARCH 2021	IBI

PM:	GENERAL
PE:	
SENIOR TECH. MGR.:	
DRAWN BY:	AO
SCALE:	12" = 1'-0"
DATE:	04/22/21
JOB NO.:	116535
SHEET TITLE:	

GENERAL NOTES

SHEET NO.:

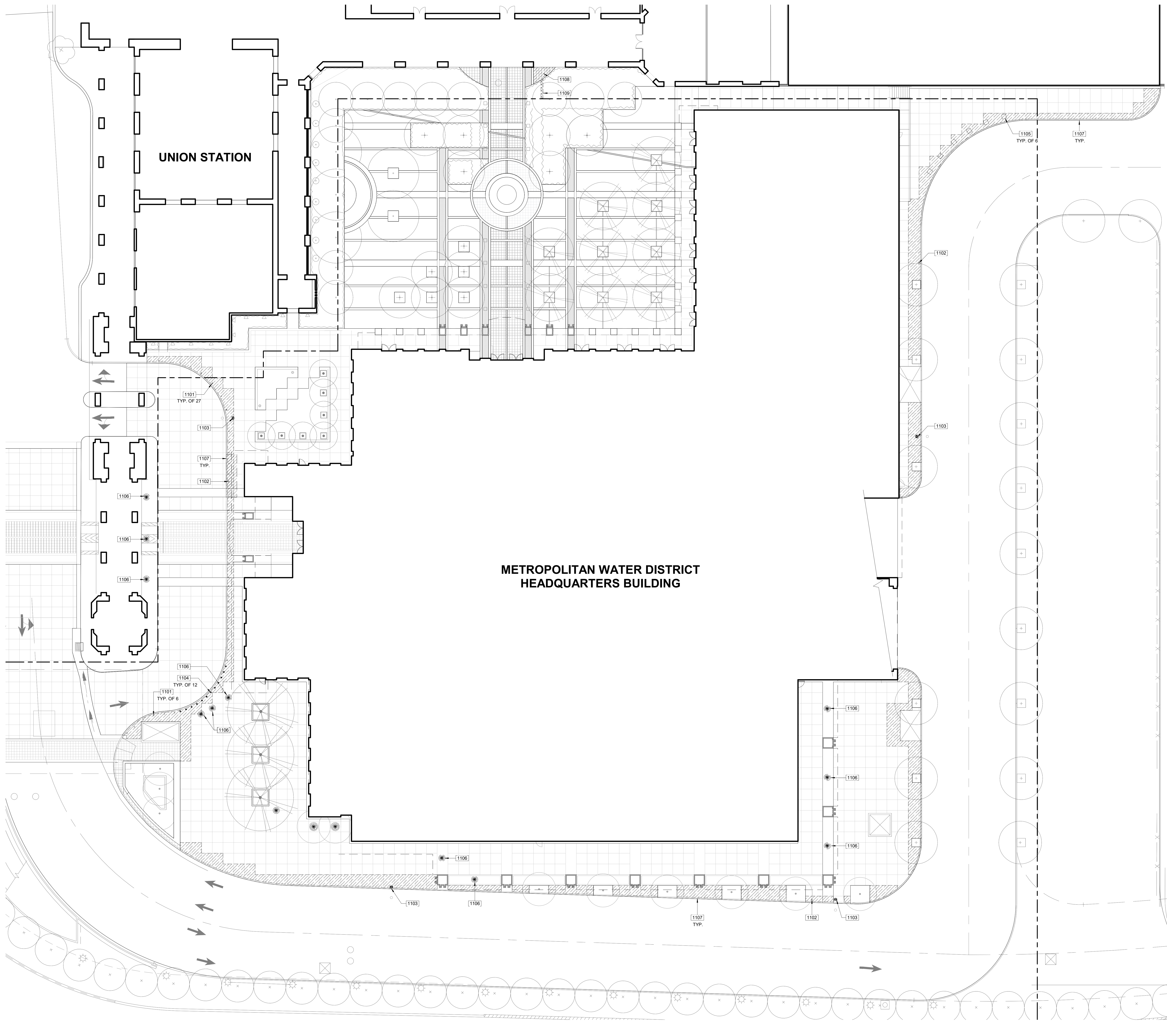
G1000

CONFIDENTIAL METROPOLITAN INFORMATION

NOT FOR CONSTRUCTION

ATTACHMENT C Design Plan

**NOT FOR
CONSTRUCTION**



1000-GENERAL NOTES

1. PRIOR TO ANY UNDERGROUND SITE WORK, VERIFY LOCATION OF ALL EXISTING UTILITIES WITH UNDERGROUND SERVICE ALERT.
2. BOLLARDS SHALL BE SPACED EQUIDISTANTLY SO THAT THE CLEAR DISTANCE BETWEEN BOLLARDS DOES NOT EXCEED 40". CENTER OF BOLLARD SHALL BE NO MORE THAN 24" FROM CURB LINE AND INSTALLED SUCH THAT THE TOP SURFACE IS LEVEL.
3. MAINTAIN 3'-0" CLEAR AROUND ALL (E) FIRE HYDRANTS, TYP.

1000 - DEMOLITION KEYNOTES

- 1101 REMOVE (E) BOLLARD AND ALL ASSOCIATED FOOTINGS AND ANCHORS
- 1102 (E) SIGNAGE, REMOVE AND REPLACE AS REQUIRED FOR NEW WORK
- 1103 (E) FIRE HYDRANT TO REMAIN
- 1104 REMOVE (E) CONCRETE DOT MARKER
- 1105 REMOVE AND RELOCATE (E) MOVEABLE CONCRETE BOLLARD
- 1106 REMOVE AND RELOCATE (E) PLANTER, REFER TO SITE PLAN FOR NEW LOCATION
- 1107 (E) CONCRETE CURB TO REMAIN, SEE DETAILS 101A8002 AND 111A8002
- 1108 REMOVE (E) HARDSCAPE
- 1109 TRENCHING OF (E) LANDSCAPING FOR CONDUIT PLACEMENT

LEGEND

- REMOVE (E) PAVEMENT, PATCH AND PREPARE FOR NEW WORK
- TRENCHING OF (E) LANDSCAPING FOR CONDUIT PLACEMENT

PROJECT HEADQUARTERS BUILDING EXTERIOR PHYSICAL SECURITY IMPROVEMENTS

SPECIFICATION NO.: 2003
PROJECT NUMBER: 105168
DRAWING NUMBER:
APPROVAL SHEET NO.:

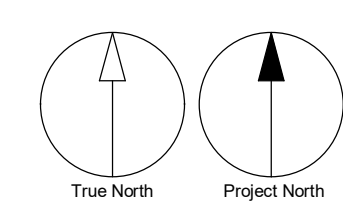
ADDRESS:
700 N. ALAMEDA ST.
LOS ANGELES, CA 90012

REVISIONS:	DELTA	TITLE	DATE	BY
	150% CHECKSET		MARCH 2021	IBI

PM:	ARCHITECTURAL
PE:	
SENIOR TECH. MGR.:	AO
DRAWN BY:	As Indicated
DATE:	04/22/21
JOB NO.:	116535
SHEET TITLE:	SITE DEMOLITION PLAN

SHEET NO.:

A1000



ATTACHMENT C Design Plan

**NOT FOR
CONSTRUCTION**

1000-GENERAL NOTES

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3. MAINTAIN 3'-0" CLEAR AROUND ALL (E) FIRE HYDRANTS, TYP.

LEGEND

- ORNAMENTAL FENCE
- PROPERTY LINE
- FIRE DEPARTMENT ACCESS, WIDTH 20'-0"
- STAINLESS STEEL BOLLARD, SEE DETAIL 5/A8002
- REMOVABLE STAINLESS STEEL BOLLARD, SEE DETAIL 7/A8002
- REMOVABLE STAINLESS STEEL BOLLARD, SEE DETAIL 13/A8002
- (E) RELOCATED PLANTER
- ▨ PATCH AND REPAIR CONCRETE WALK TO NEAREST JOINT, SEE DETAIL 11/A8002
- ▨ NATIVE SOIL BACKFILL O' CONDUIT TRENCH, SEE DETAIL 16/A8002

PROJECT HEADQUARTERS BUILDING EXTERIOR PHYSICAL SECURITY IMPROVEMENTS

SPECIFICATION NO.: 2003
PROJECT NUMBER: 105168
DRAWING NUMBER:
APPROVAL SHEET NO.:
ADDRESS:
700 N. ALAMEDA ST.
LOS ANGELES, CA 90012

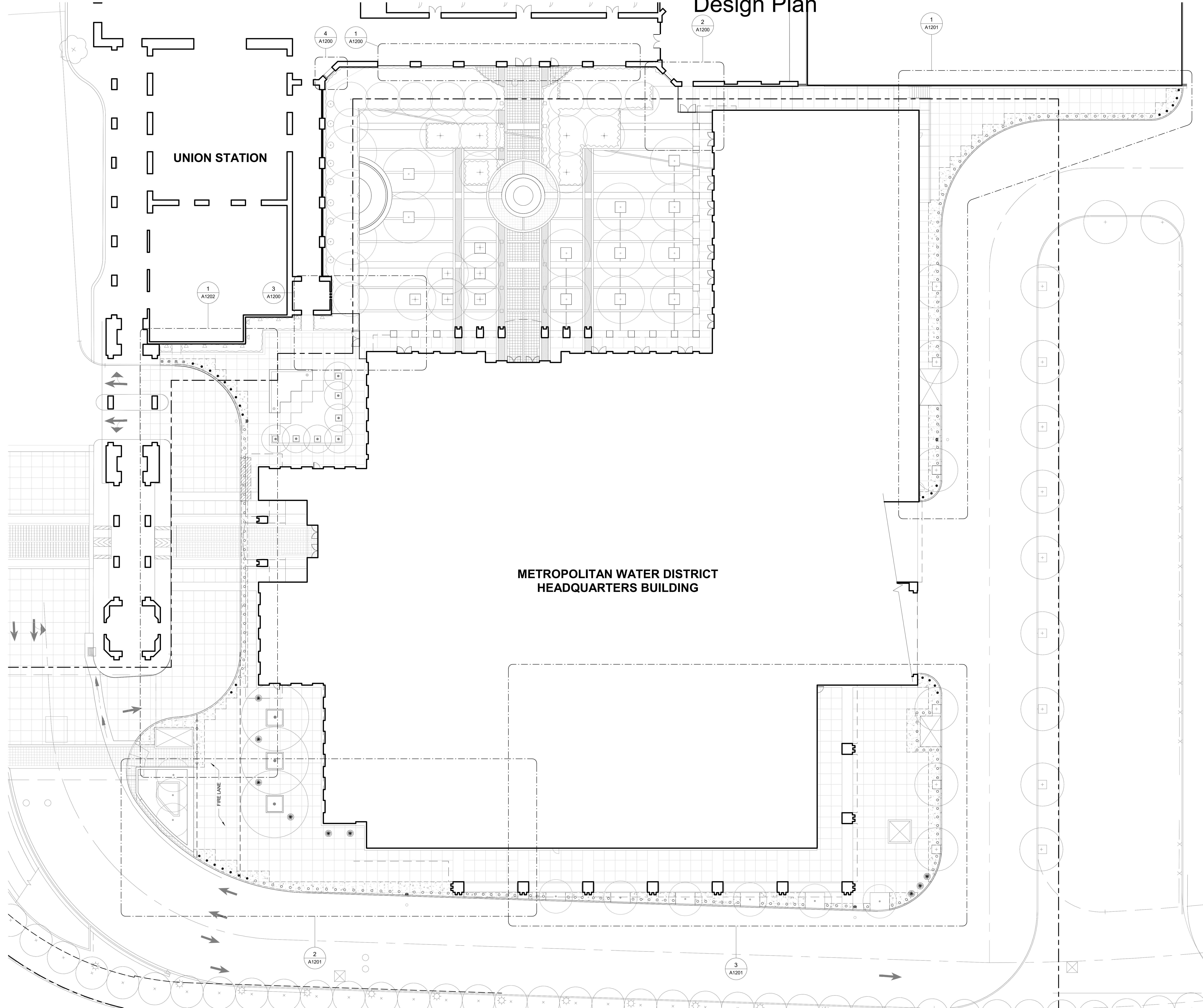
REVISIONS:	TITLE	DATE	BY
DELTA	15% CHECKSET	MARCH 2021	IBI

PM:	ARCHITECTURAL
PE:	
SENIOR TECH. MGR.:	AO
DRAWN BY:	As Indicated
SCALE:	04/22/21
DATE:	116535
JOB NO.:	
SHEET TITLE:	

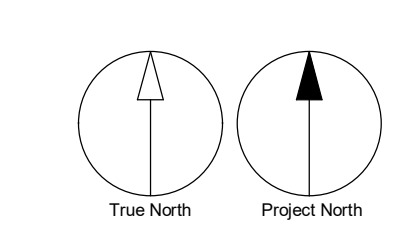
SITE PLAN

SHEET NO.:

A1100



1 SITE PLAN
A1100 Scale: 1/16" = 1'-0"



CONFIDENTIAL METROPOLITAN INFORMATION

ATTACHMENT C Design Plan

**NOT FOR
CONSTRUCTION**

1000-GENERAL NOTES

- PRIOR TO ANY UNDERGROUND SITE WORK, VERIFY LOCATION OF ALL EXISTING UTILITIES WITH UNDERGROUND SERVICE ALERT.
- BOLLARDS SHALL BE SPACED EQUIDISTANTLY SO THAT THE CLEAR DISTANCE BETWEEN BOLLARDS DOES NOT EXCEED 40". CENTER OF BOLLARD SHALL BE NO MORE THAN 24" FROM CURB LINE AND INSTALLED SUCH THAT THE TOP SURFACE IS LEVEL.
- MAINTAIN 3'-0" CLEAR AROUND ALL (E) FIRE HYDRANTS, TYP.

1100 - KEYNOTES

- 1210 CARD READER
1212 (E) CONCRETE COLUMN WITH PLASTER FINISH. PATCH AND REPAIR FINISH AS NECESSARY FOR NEW WORK
1215 ORNAMENTAL FENCE PER DETAIL 6/A8001
1216 ORNAMENTAL FENCE PER DETAIL 6/A8001
1221 (E) CONCRETE WALL WITH PLASTER FINISH. PATCH AND REPAIR FINISH AS NECESSARY FOR NEW WORK
1222 ELECTRICAL CONDUIT

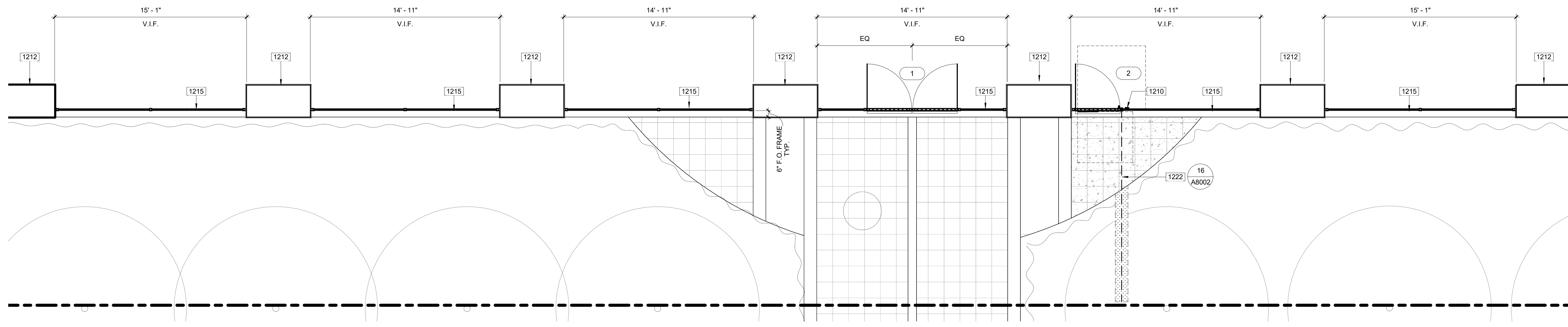
LEGEND

- ORNAMENTAL FENCE
- PROPERTY LINE
- FIRE DEPARTMENT ACCESS, WIDTH 20'-0"
- STAINLESS STEEL BOLLARD, SEE DETAIL 6/A8002
- REMOVABLE STAINLESS STEEL BOLLARD, SEE DETAIL 7/A8002
- REMOVABLE STAINLESS STEEL BOLLARD, SEE DETAIL 13/A8002
- (E) RELOCATED PLANTER
- PATCH AND REPAIR CONCRETE WALK TO NEAREST JOINT, SEE DETAIL 11/A8002
- NATIVE SOIL BACKFILL OF CONDUIT TRENCH, SEE DETAIL 16/A8002
- 60" DIA. ACCESSIBLE FLOOR SPACE LOCATION
- 30" X 48" ACCESSIBLE FLOOR SPACE LOCATION
- 60" X 60" ACCESSIBLE FLOOR SPACE LOCATION

PROJECT HEADQUARTERS BUILDING EXTERIOR PHYSICAL SECURITY IMPROVEMENTS

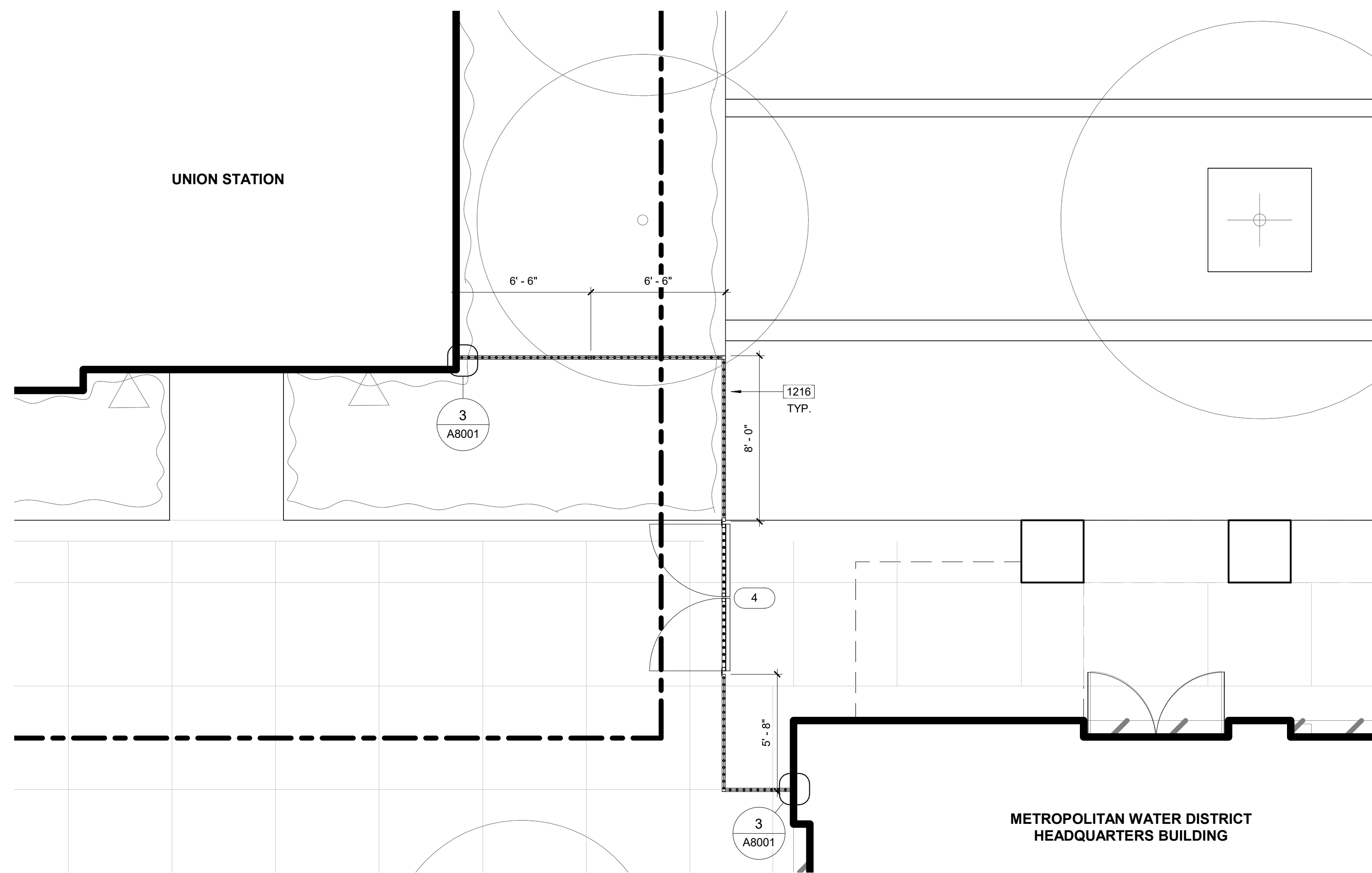
SPECIFICATION NO.: 2003
PROJECT NUMBER: 105168
DRAWING NUMBER:
APPROVAL SHEET NO.:
ADDRESS:
700 N. ALAMEDA ST.
LOS ANGELES, CA 90012

REVISIONS:	DELTA	TITLE	DATE	BY
	15%	CHECKSET	MARCH 2021	IBI



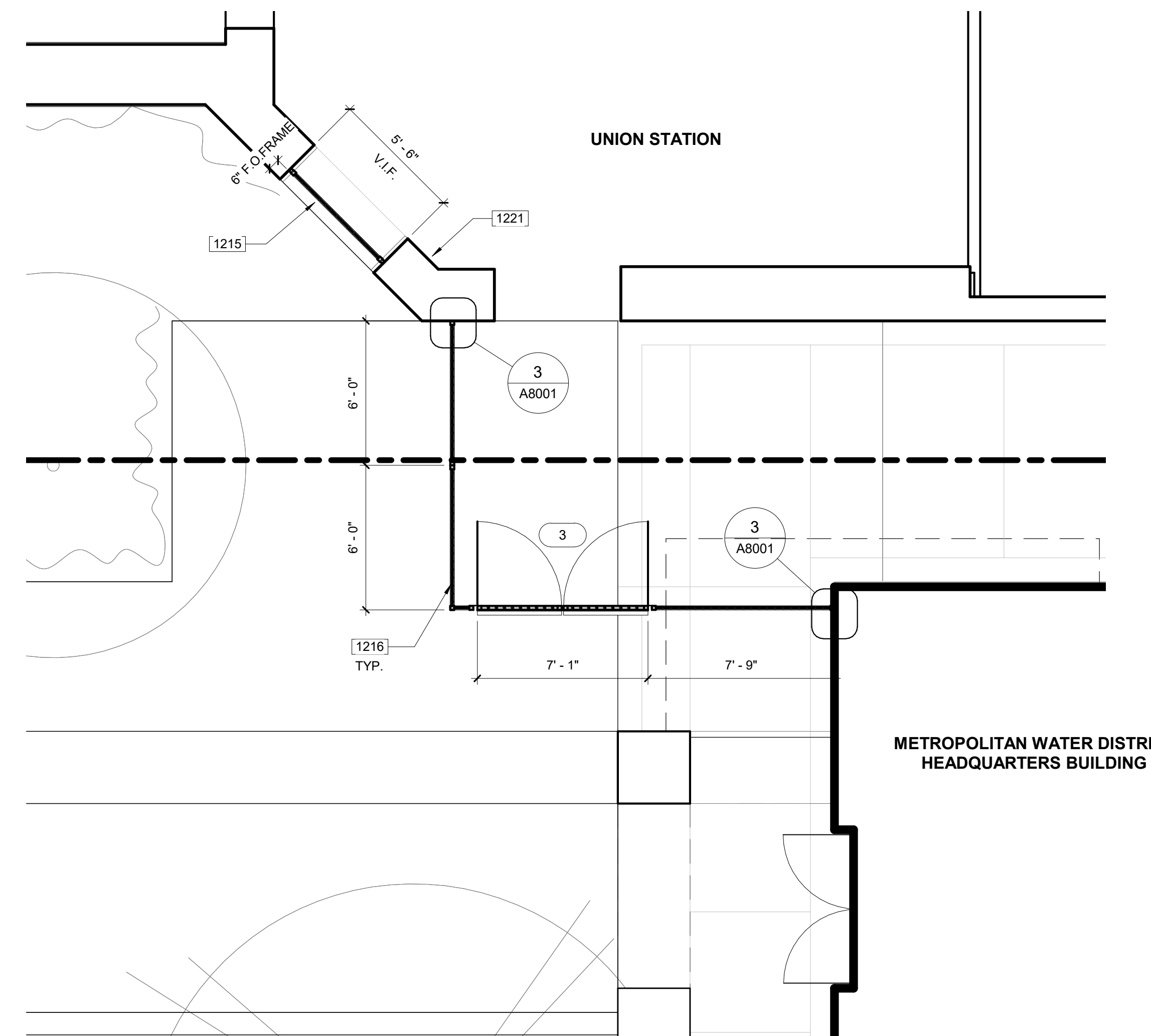
1 ENLARGED SITE PLAN - ORNAMENTAL FENCE NORTH

A1200 Scale: 1/4" = 1'-0"



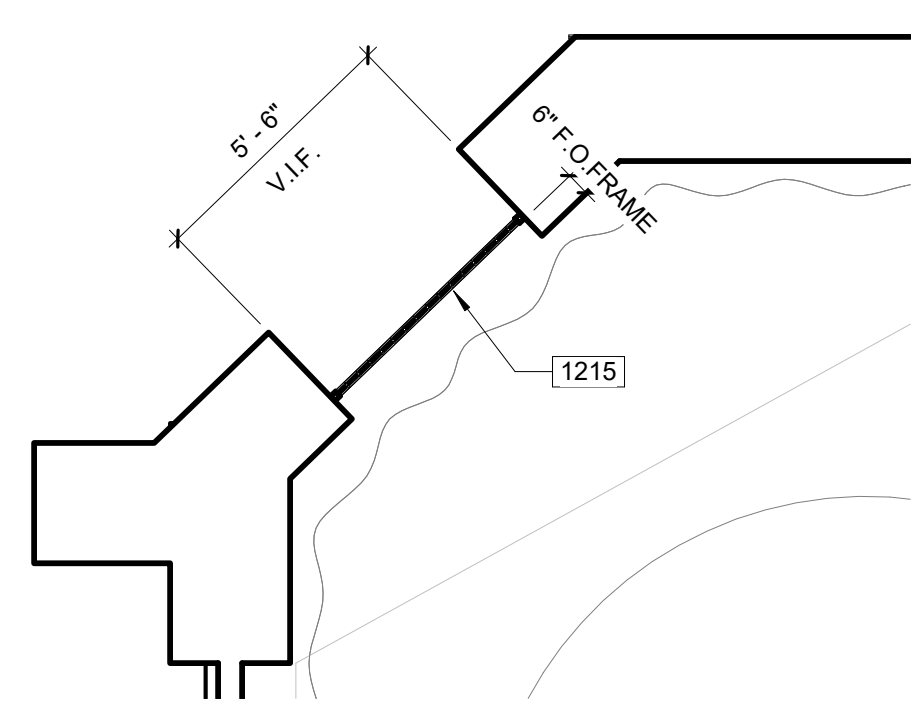
3 ENLARGED SITE PLAN - ORNAMENTAL FENCE SOUTH

A1200 Scale: 1/4" = 1'-0"



2 ENLARGED SITE PLAN - ORNAMENTAL FENCE WEST

A1200 Scale: 1/4" = 1'-0"



4 ENLARGED SITE PLAN - ORNAMENTAL FENCE NORTH WEST

A1200 Scale: 1/4" = 1'-0"

GATE SCHEDULE											
DOOR No.	TYPE	MAT	FINISH	WIDTH	HEIGHT	HARDWARE	PANIC	SIGNAGE	DETAIL	REMARKS	DOOR No.
1	AA			7'-0"	8'-9"		Yes		16/A8001		1
2	BB			3'-6"	8'-4"		Yes		17/A8001		2
3	AA			7'-0"	8'-9"		Yes		16/A8001		3
4	AA			7'-0"	8'-9"		Yes		16/A8001		4

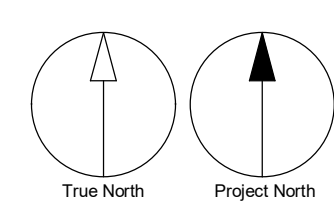
CONFIDENTIAL METROPOLITAN INFORMATION

PM: ARCHITECTURAL
PE:
SENIOR TECH. MGR.: AO
DRAWN BY:
SCALE: As Indicated
DATE: 04/22/21
JOB NO.: 116535
SHEET TITLE:

SITE ENLARGED PLAN -
ORNAMENTAL FENCE

SHEET NO.:

A1200



ATTACHMENT C Design Plan

**NOT FOR
CONSTRUCTION**

**PROJECT
HEADQUARTERS
BUILDING
EXTERIOR
PHYSICAL
SECURITY
IMPROVEMENTS**

SPECIFICATION NO.: 2003
PROJECT NUMBER: 105168
DRAWING NUMBER:
APPROVAL SHEET NO.:
ADDRESS:
700 N. ALAMEDA ST.
LOS ANGELES, CA 90012

REVISIONS:			
DELTA	TITLE	DATE	BY
150%	CHECKSET	MARCH 2021	IBI

PM:	ARCHITECTURAL
PE:	
SENIOR TECH. MGR.:	
DRAWN BY:	AO
SCALE:	As Indicated
DATE:	04/22/21
JOB NO.:	116535
SHEET TITLE:	

ENLARGED SITE PLANS -
PHYSICAL SECURITY

SHEET NO.:

A1202

1000-GENERAL NOTES

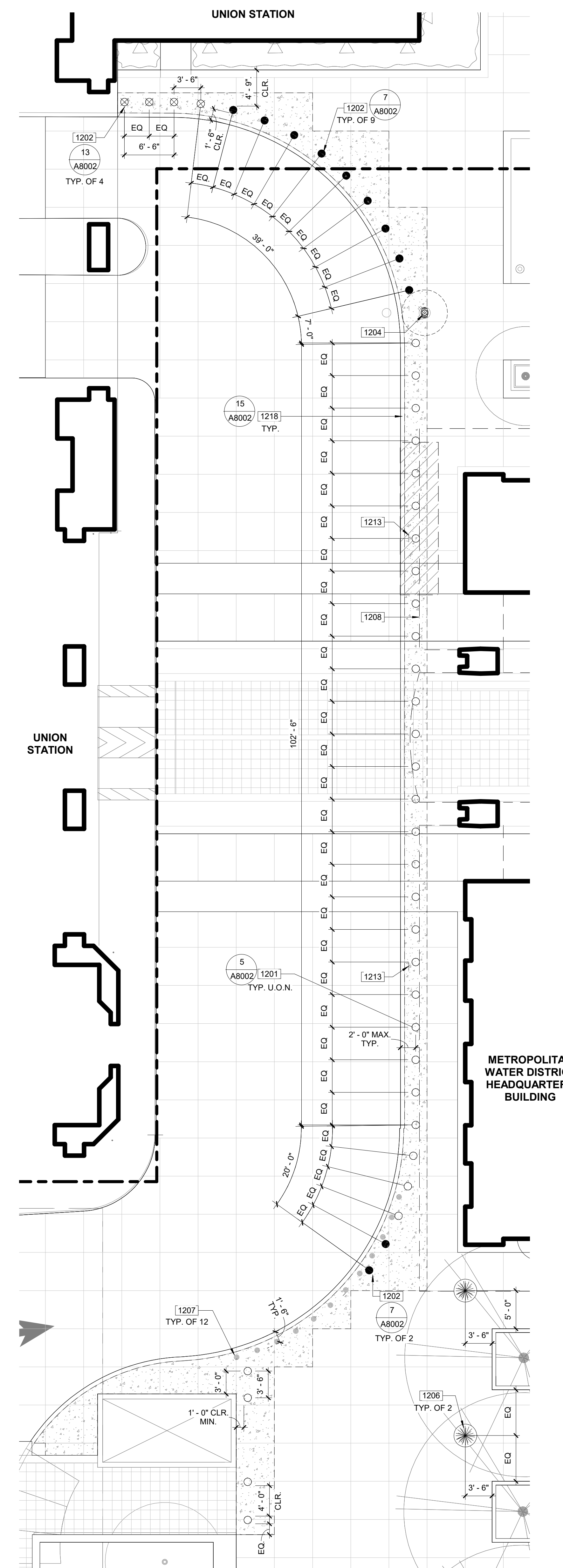
- PRIOR TO ANY UNDERGROUND SITE WORK, VERIFY LOCATION OF ALL EXISTING UTILITIES WITH UNDERGROUND SERVICE ALERT.
- BOLLARDS SHALL BE SPACED EQUIDISTANTLY SO THAT THE CLEAR DISTANCE BETWEEN BOLLARDS DOES NOT EXCEED 40". CENTER OF BOLLARD SHALL BE NO MORE THAN 24" FROM CURB LINE AND INSTALLED SUCH THAT THE TOP SURFACE IS LEVEL.
- MAINTAIN 3'-0" CLEAR AROUND ALL (E) FIRE HYDRANTS, TYP.

1100 - KEYNOTES

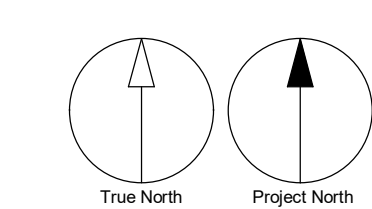
- | | |
|------|--|
| 1201 | STAINLESS STEEL BOLLARD |
| 1202 | STAINLESS STEEL REMOVABLE BOLLARD |
| 1204 | (E) FIRE HYDRANT, MAINTAIN 3'-0" CLEAR AROUND |
| 1206 | RELOCATED (E) PLANTER, SPACE AT 40" CLR. MAX. 18" FROM CURB LINE |
| 1207 | (E) LANE MARKER |
| 1208 | (E) CANOPY ABOVE |
| 1213 | (E) SIGNAGE, REMOVE AND REPLACE AS REQUIRED FOR NEW WORK |
| 1218 | (E) CONCRETE CURB |

LEGEND

-----	ORNAMENTAL FENCE
-----	PROPERTY LINE
-----	FIRE DEPARTMENT ACCESS, WIDTH 20'-0"
o	STAINLESS STEEL BOLLARD, SEE DETAIL 5/A8002
•	REMOVABLE STAINLESS STEEL BOLLARD, SEE DETAIL 7/A8002
•	REMOVABLE STAINLESS STEEL BOLLARD, SEE DETAIL 13/A8002
•	(E) RELOCATED PLANTER
□	PATCH AND REPAIR CONCRETE WALK TO NEAREST JOINT, SEE DETAIL 11/A8002
□	NATIVE SOIL BACKFILL OF CONDUIT TRENCH, SEE DETAIL 16/A8002
○	60" DIA. ACCESSIBLE FLOOR SPACE LOCATION
□	30" X 48" ACCESSIBLE FLOOR SPACE LOCATION
□	60" X 60" ACCESSIBLE FLOOR SPACE LOCATION



1 SITE PLAN
A1202 Scale: 1/8" = 1'-0"
0 4' 8' 16'

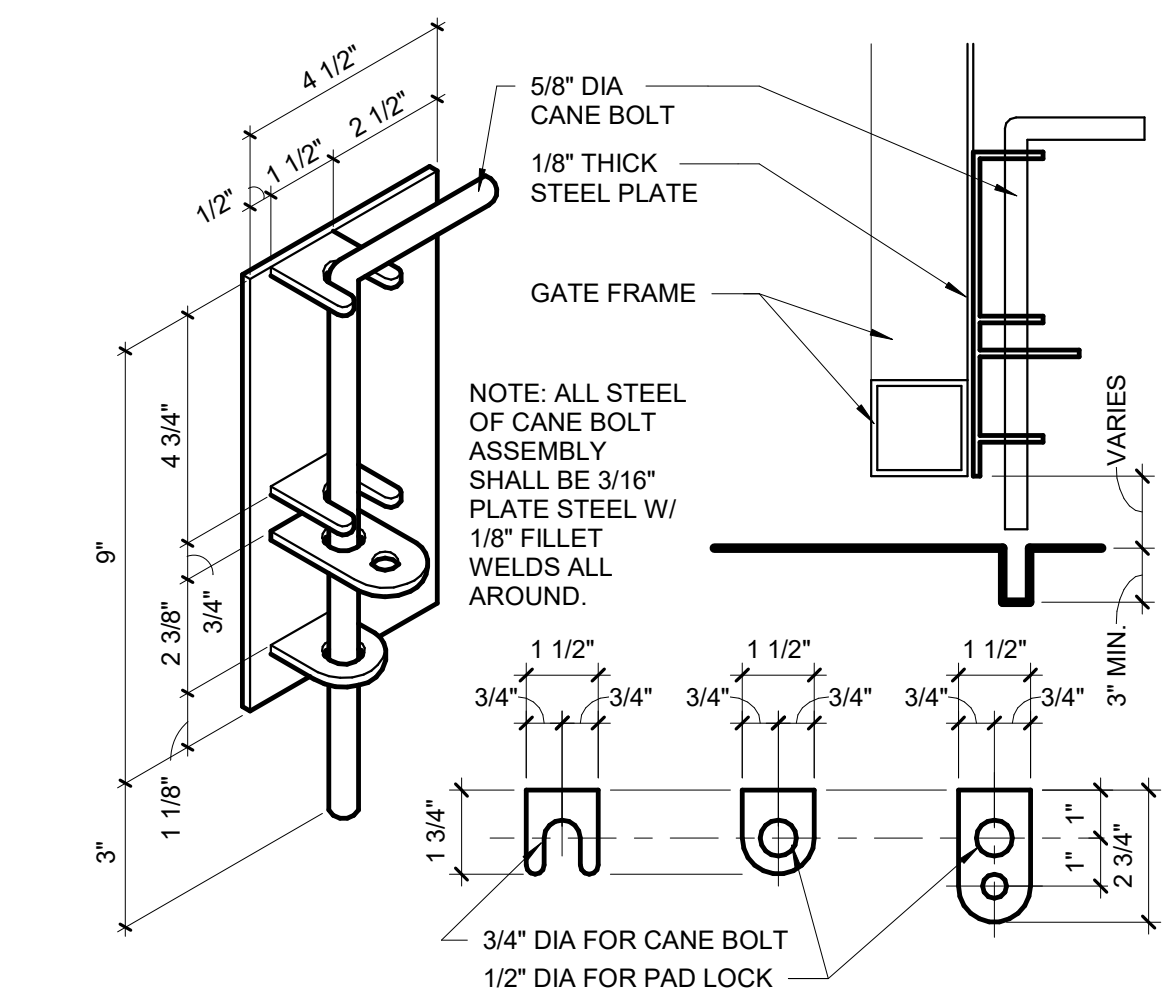


CONFIDENTIAL METROPOLITAN INFORMATION

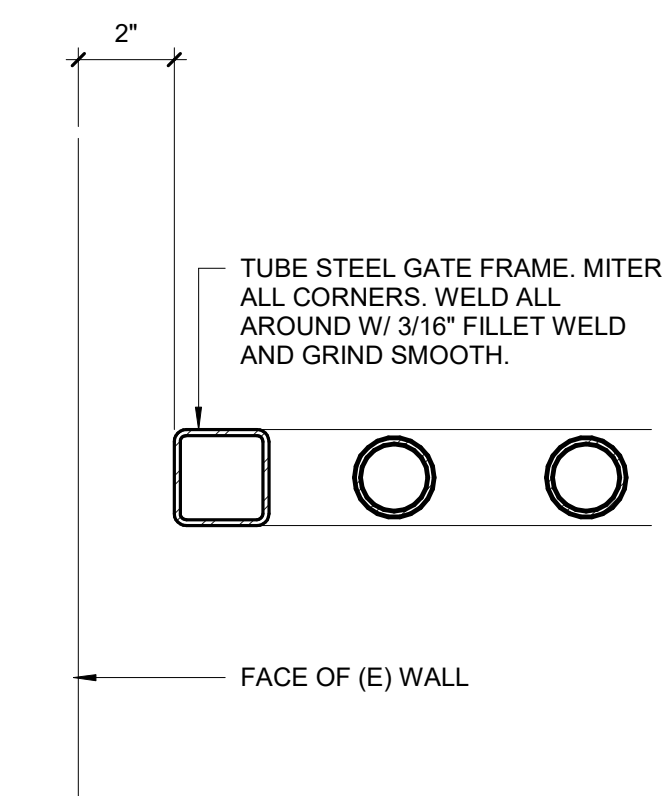
ATTACHMENT C Design Plan

CONSULTANT:

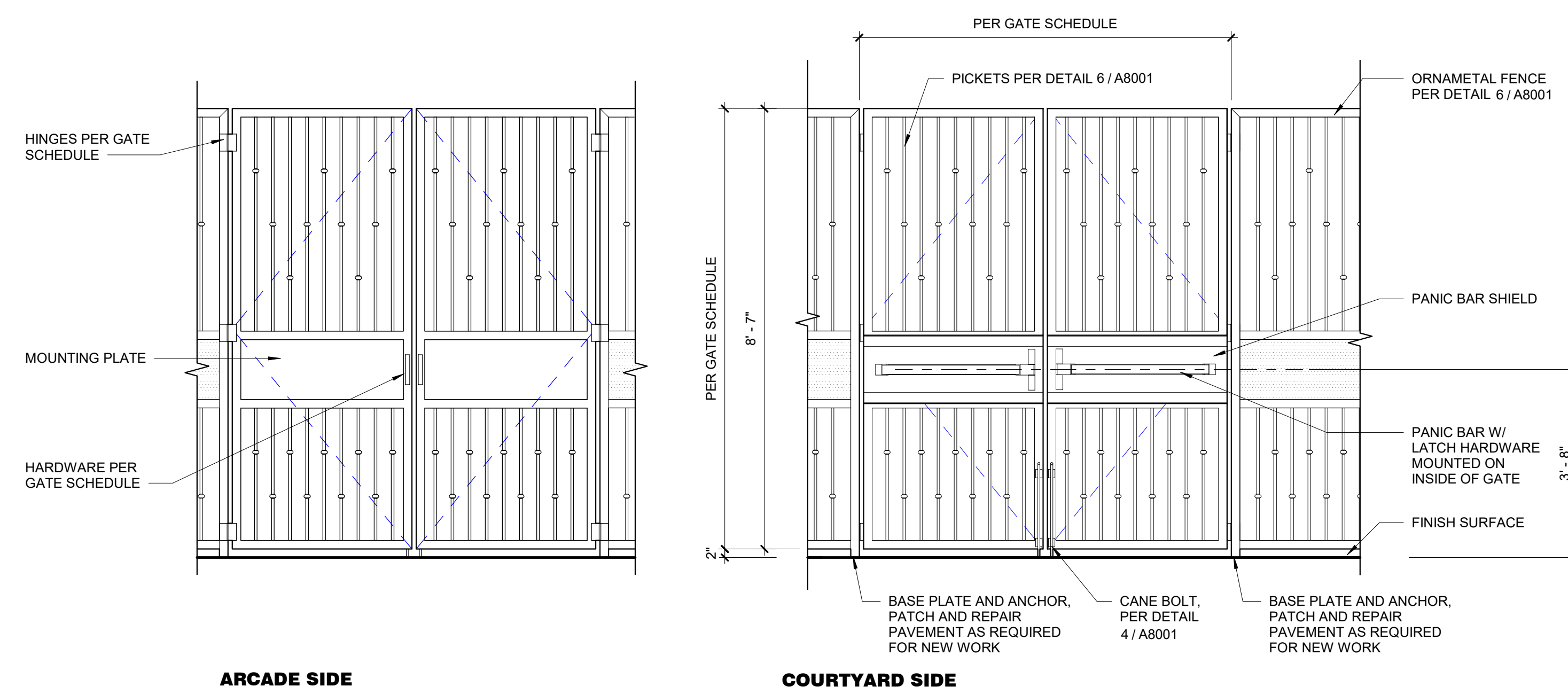
STATE SEAL:



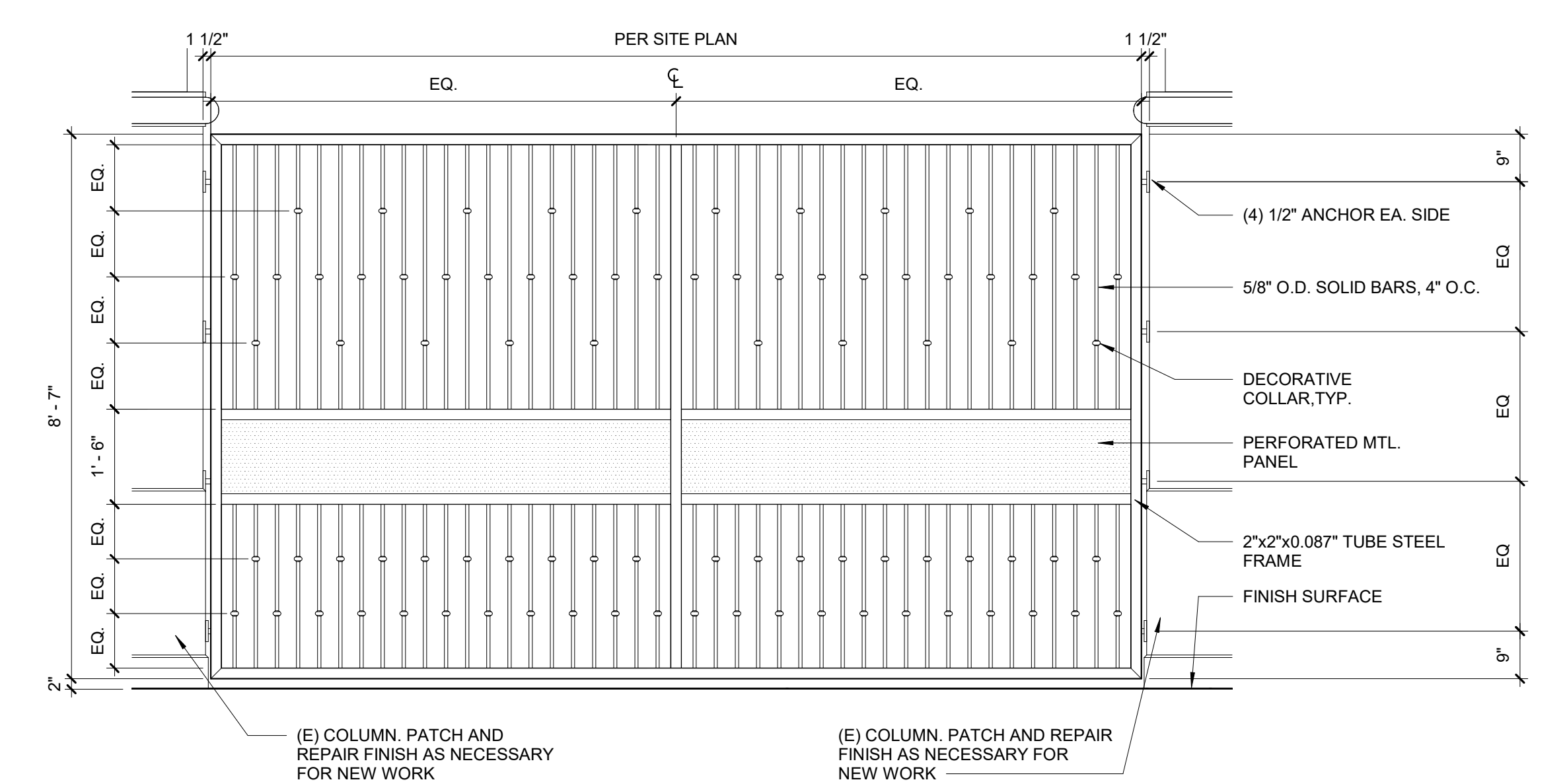
4 BOLT ASSEMBLY
A8001 Scale: 3/4" = 1'-0"



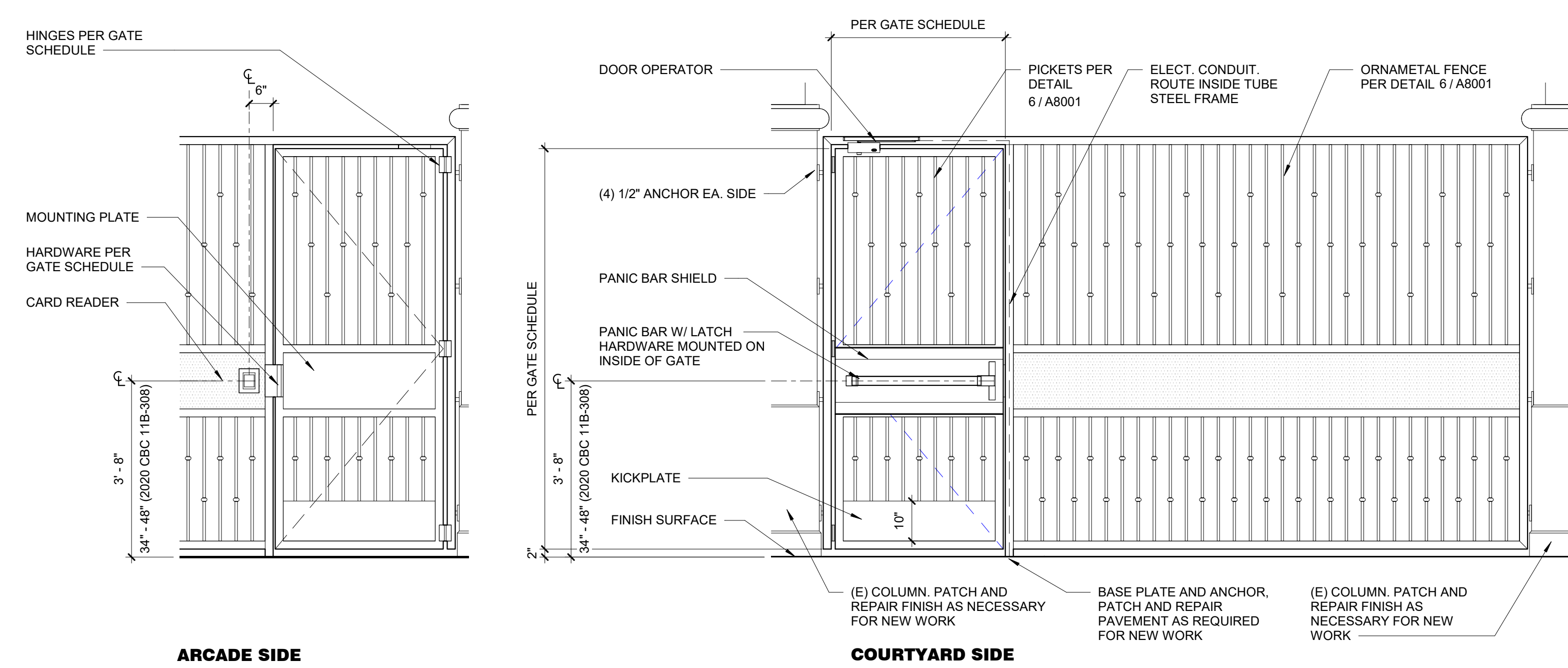
3 ORNAMENTAL FENCE FRAME @ WALL
A8001 Scale: 3/4" = 1'-0"



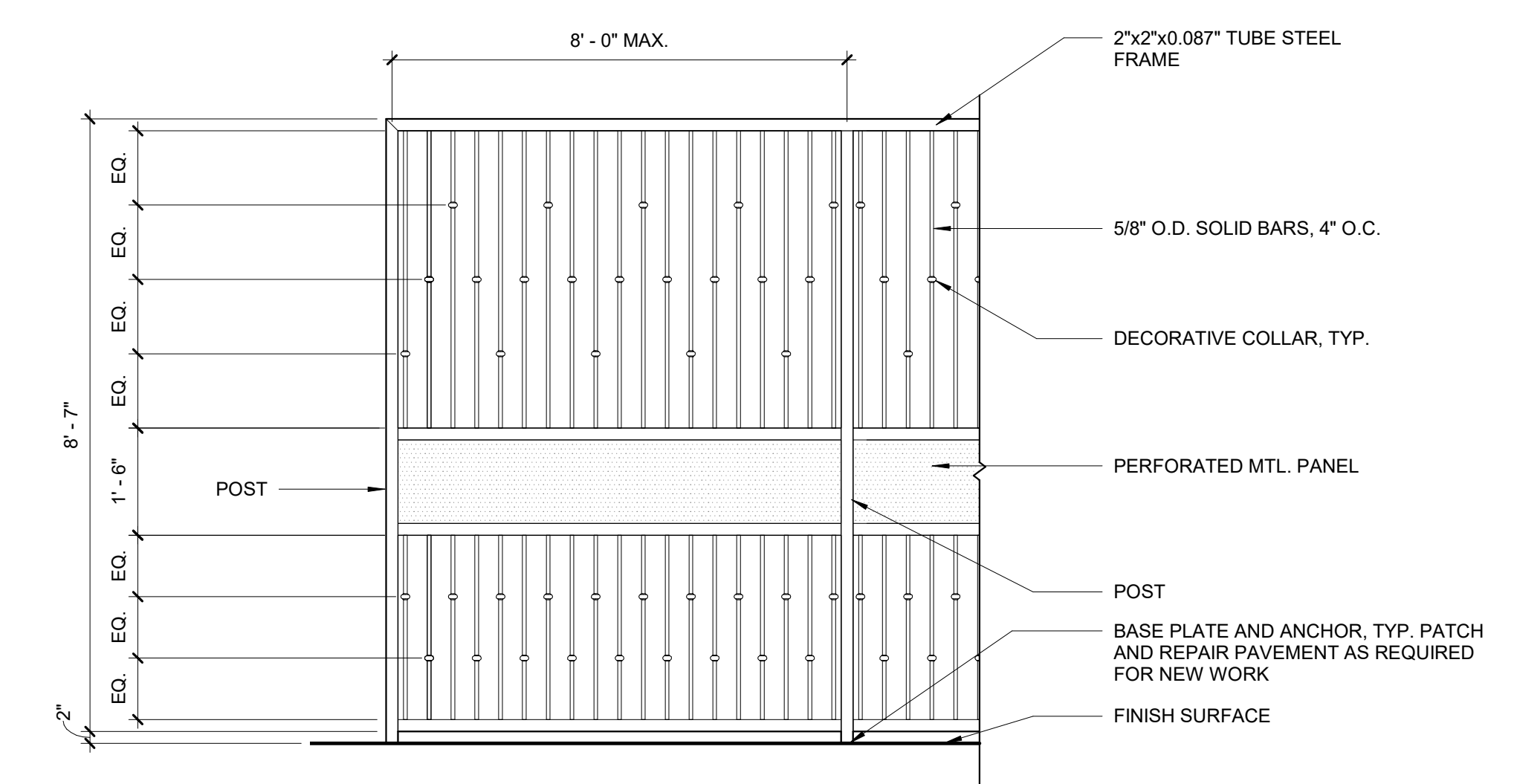
18 ORNAMENTAL FENCE DOUBLE GATE
A8001 Scale: 1/2" = 1'-0"



6 TYP. ORNAMENTAL FENCE ELEVATION AT ARCADE
A8001 Scale: 1/2" = 1'-0"



17 ORNAMENTAL FENCE SINGLE GATE
A8001 Scale: 1/2" = 1'-0"



5 TYP. ORNAMENTAL FENCE ELEVATION
A8001 Scale: 1/2" = 1'-0"

**NOT FOR
CONSTRUCTION**

PROJECT
HEADQUARTERS
BUILDING
EXTERIOR
PHYSICAL
SECURITY
IMPROVEMENTS

SPECIFICATION NO.: 2003
PROJECT NUMBER: 105168
DRAWING NUMBER:
APPROVAL SHEET NO.:

ADDRESS:
700 N. ALAMEDA ST.
LOS ANGELES, CA 90012

REVISIONS:	DELTA	TITLE	DATE	BY
	150%	CHECKSET	MARCH 2021	IBI

PM:	ARCHITECTURAL
PE:	
SENIOR TECH. MGR.:	AO
DRAWN BY:	As Indicated
SCALE:	04/22/21
DATE:	116535
JOB NO.:	
SHEET TITLE:	

DETAILS

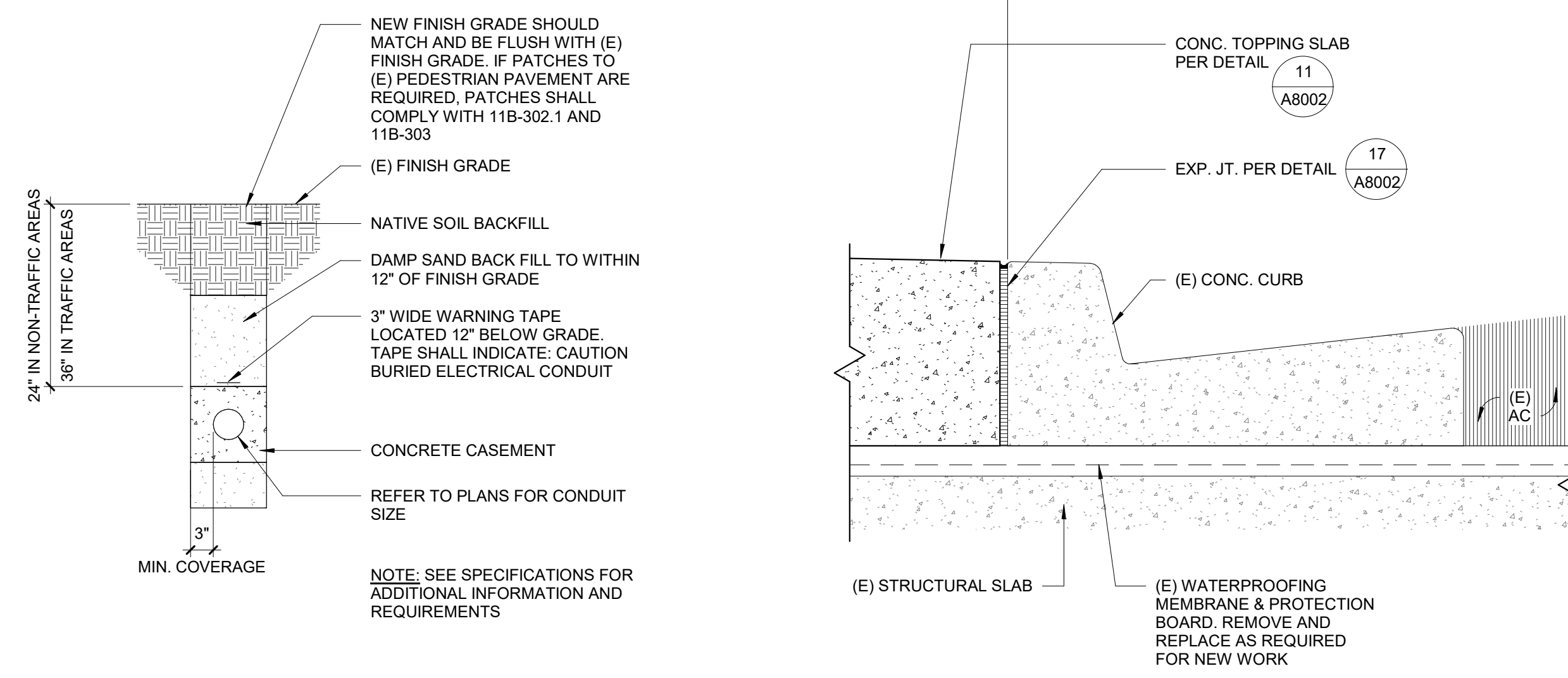
SHEET NO.:

A8001

CONFIDENTIAL METROPOLITAN INFORMATION

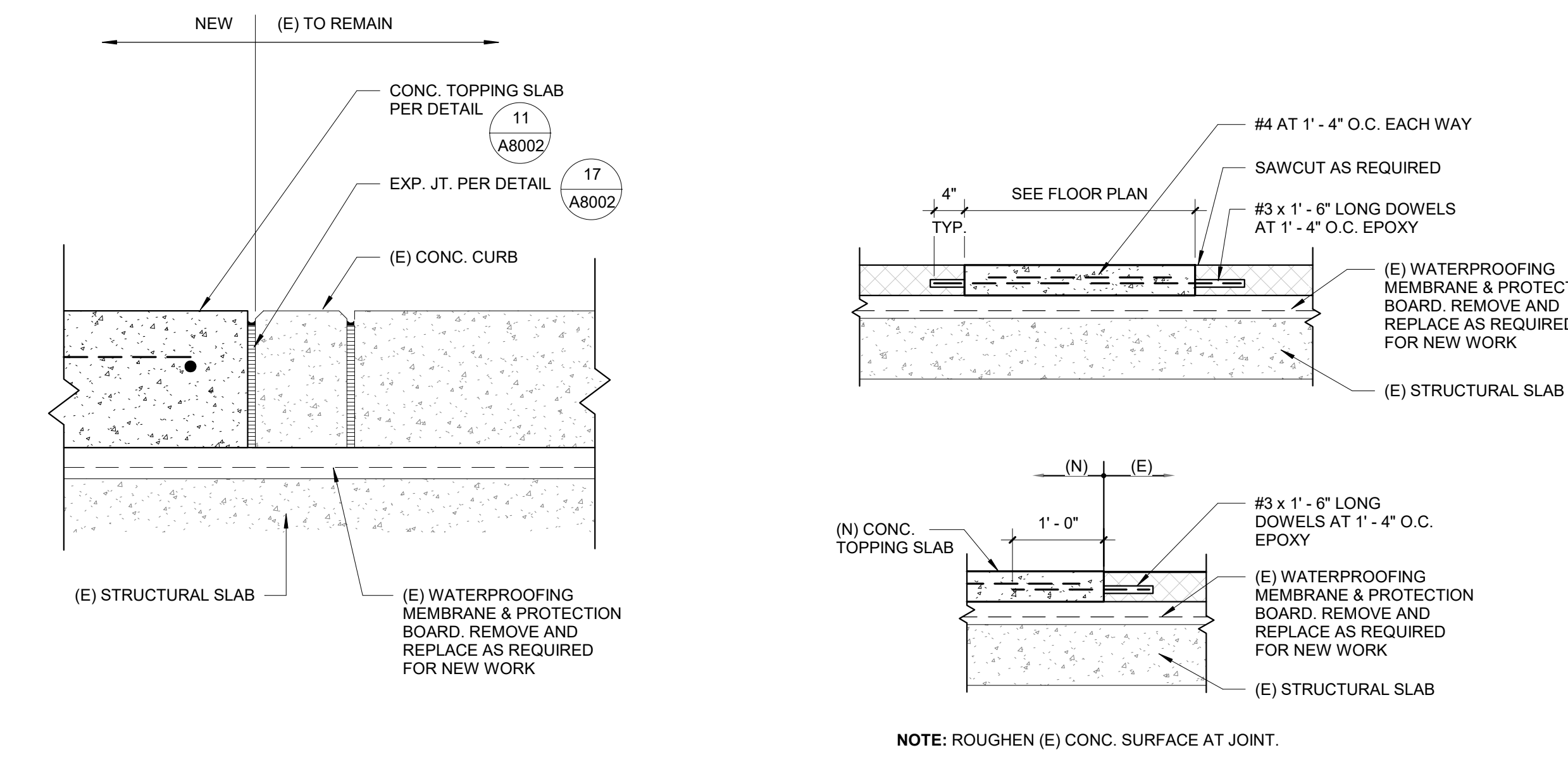
ATTACHMENT C

Design Plan



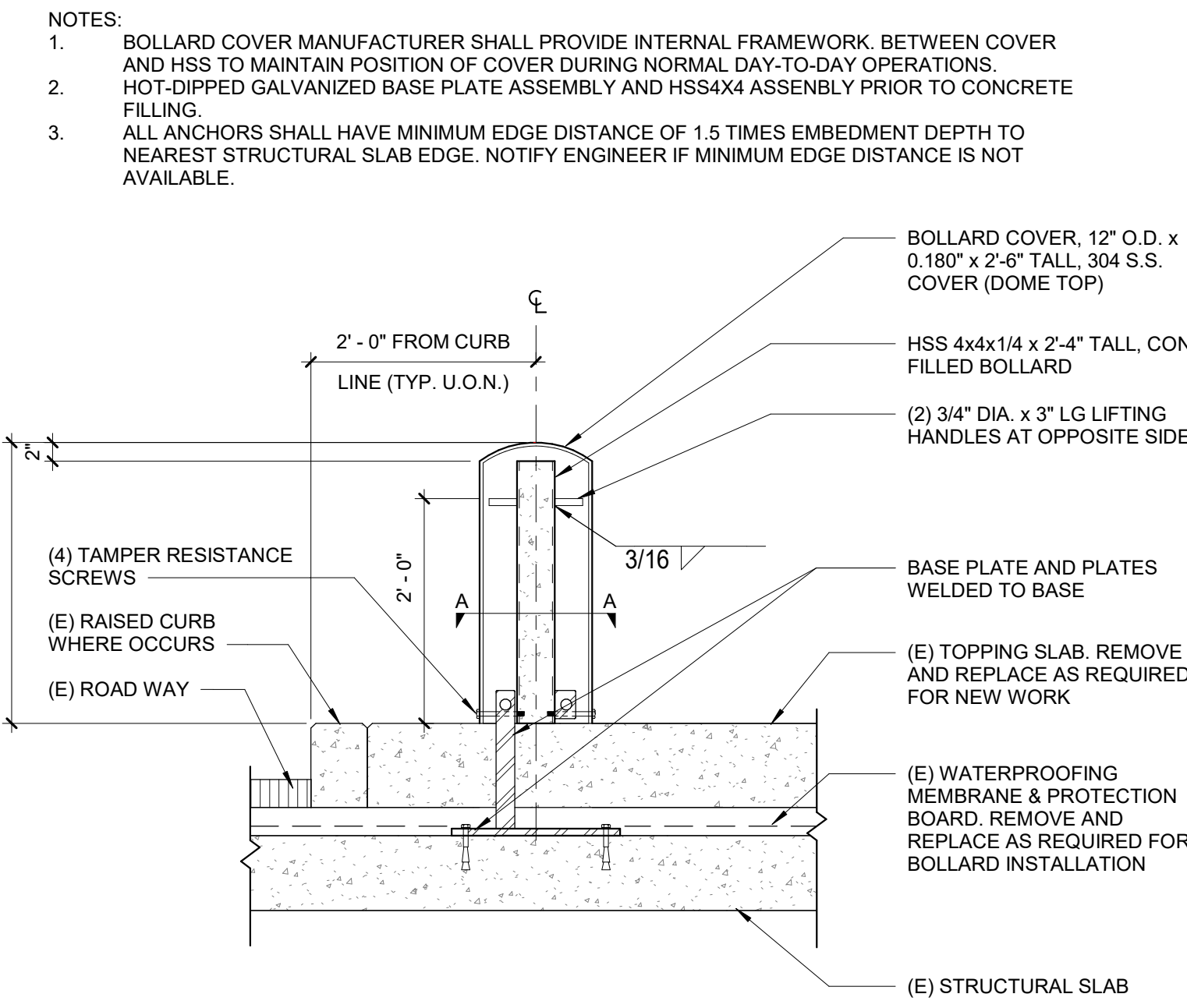
16 ELEC CONDUIT DUCT BANK
Scale: 3/4" = 1'-0"

12 WALK - CONCRETE - CURB & GUTTER
Scale: 1 1/2" = 1'-0"

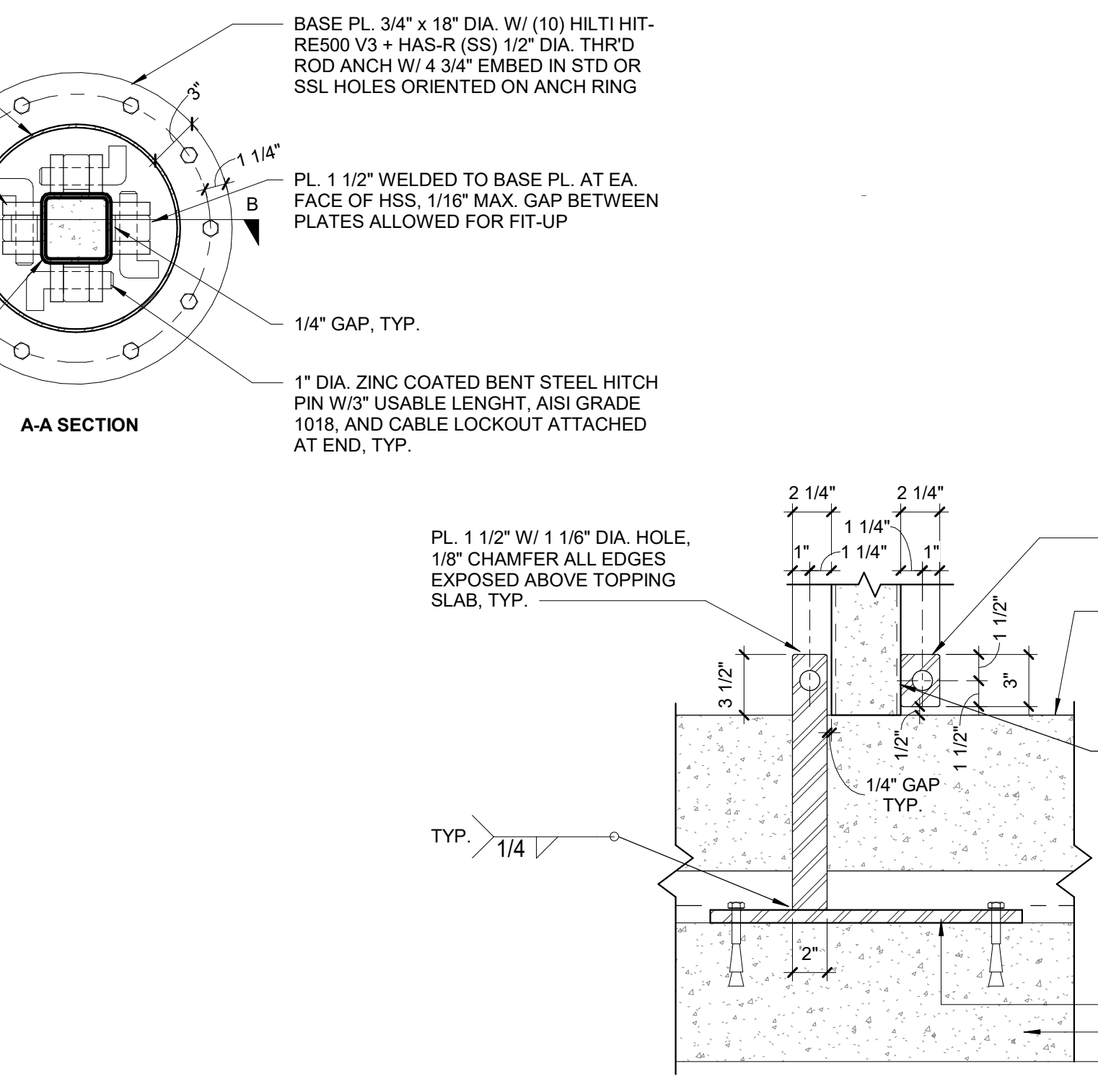


15 WALK - CONCRETE - FLUSHED CURB
Scale: 1 1/2" = 1'-0"

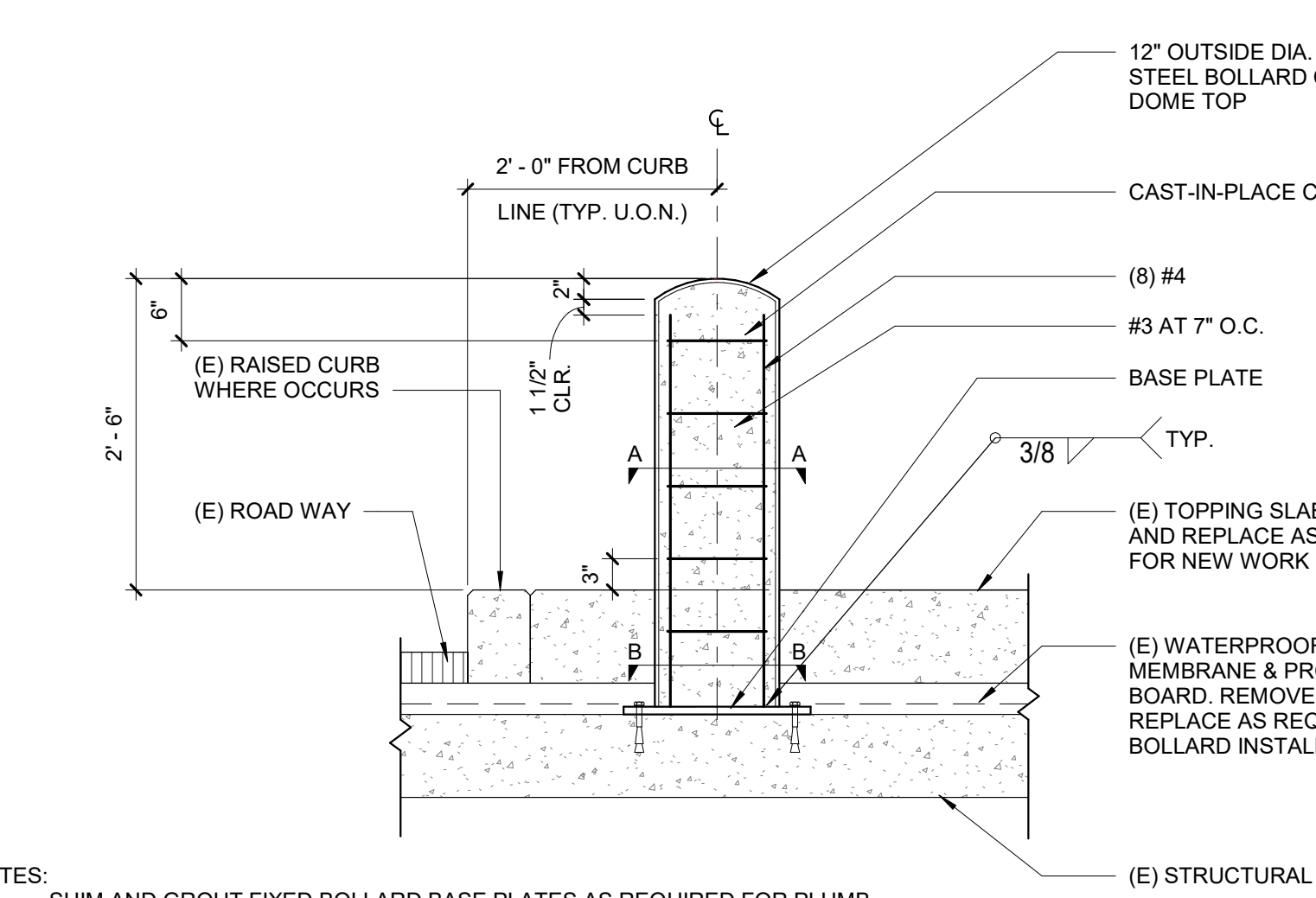
11 WALK - TYP. SLAB REPAIR
Scale: 3/4" = 1'-0"



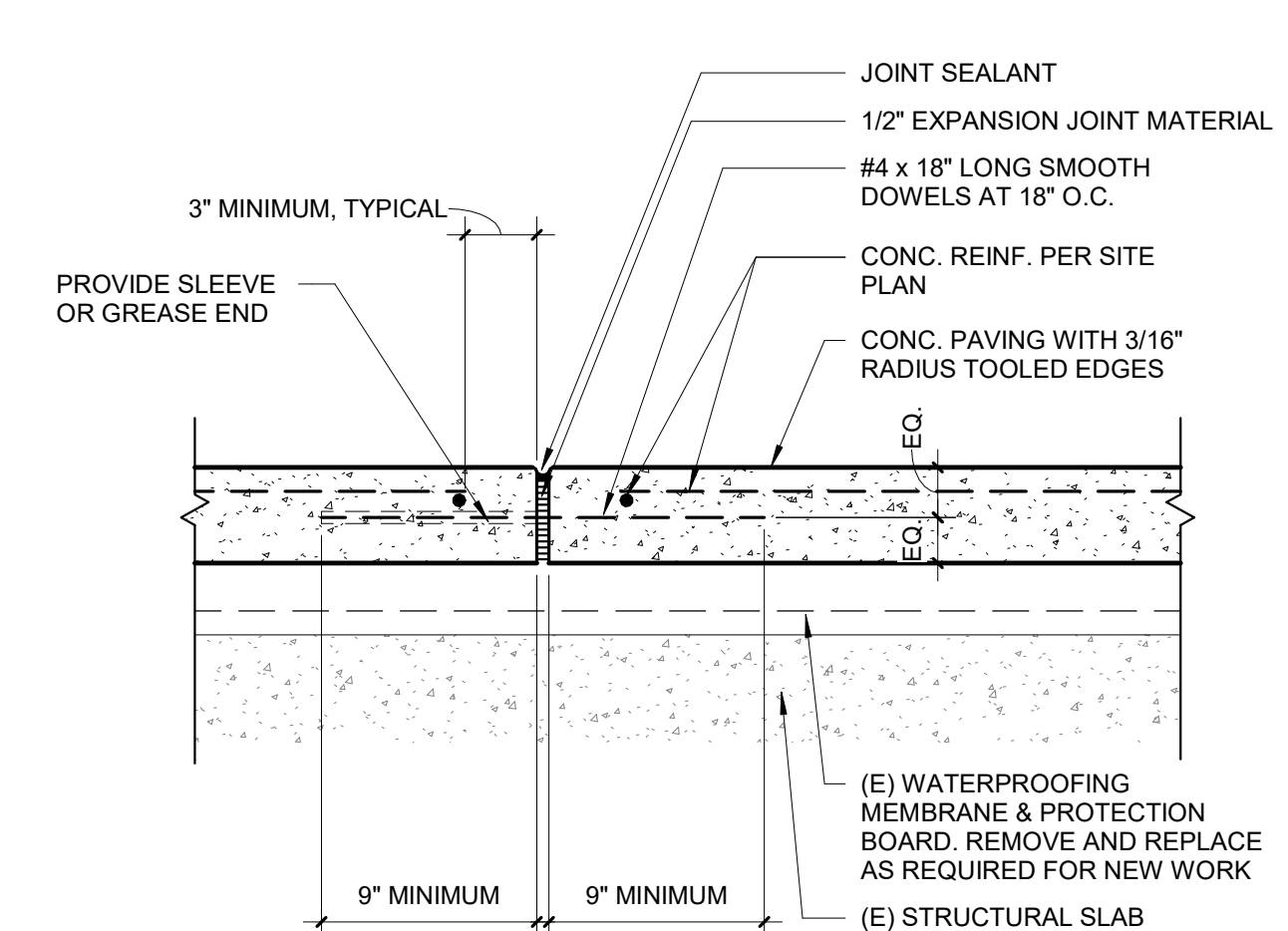
7 BOLLARD - REMOVABLE
Scale: 3/4" = 1'-0"



7 BOLLARD - REMOVABLE
Scale: 3/4" = 1'-0"



5 BOLLARD - FIXED
Scale: 3/4" = 1'-0"

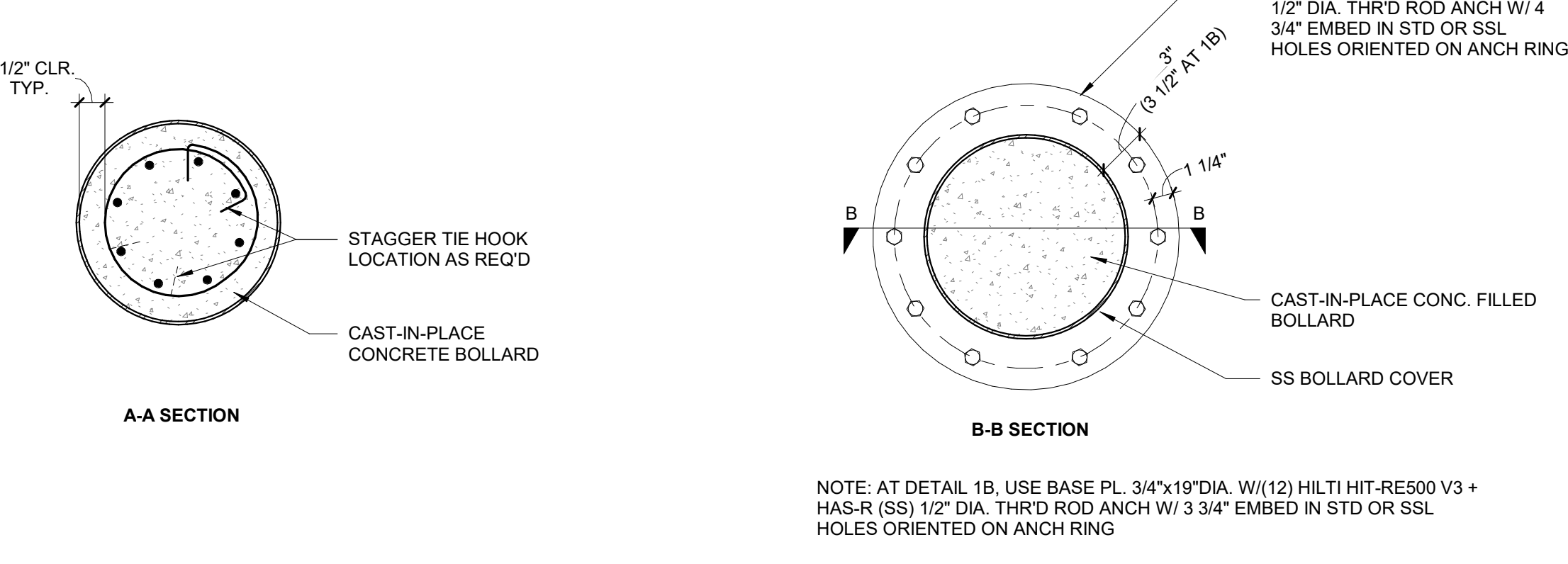


17 WALK - EXPANSION JOINT
Scale: 1 1/2" = 1'-0"

13 BOLLARD - REMOVABLE
Scale: 1 1/2" = 1'-0"

PENDING DETAIL COORDINATION

- NOTES:
- SHIM AND GROUT FIXED BOLLARD BASE PLATES AS REQUIRED FOR PLUMB INSTALLATION.
 - LONGITUDINAL REBAR SHALL BE SHOP-WELDED TO STEEL BASE PLATE PRIOR TO HOT-DIP GALVANIZING OF ENTIRE BASE PLATE AND REBAR ASSEMBLY. HEIGHT OF LONGITUDINAL BARS SHALL BE FIELD CUT TO ACCOUNT FOR VARIABLE TOPPING SLAB THICKNESS AND TO ASSURE MATCHING TOP ELEVATION OF ALL BOLLARDS. TOUCH UP CUT BAR ENDS WITH GALVANIZING REPAIR PAINT PRIOR TO CONCRETE PLACEMENT.
 - ALL ANCHORS SHALL HAVE MINIMUM EDGE DISTANCE OF 1.5 TIMES EMBEDMENT DEPTH TO NEAREST STRUCTURAL SLAB EDGE. NOTIFY ENGINEER IF MINIMUM EDGE DISTANCE IS NOT AVAILABLE.



5 BOLLARD - FIXED
Scale: 3/4" = 1'-0"

REVISIONS:	DELTA	TITLE	DATE	BY

PM:	ARCHITECTURAL
PE:	
SENIOR TECH. MGR.:	
DRAWN BY:	Author
SCALE:	As Indicated
DATE:	04/22/21
JOB NO.:	116535
SHEET TITLE:	DETAILS

NOT FOR CONSTRUCTION

ATTACHMENT D - Proposed Easement Map

HISTORICAL MONUMENTS:

- ◆ = MONUMENT IN MEMORY OF THE GABRIELENO MISSION INDIANS THAT INHABITED THE PUEBLO OF LOS ANGELES. DEDICATED ON DECEMBER 20, 1998.
- ◆ = MONUMENT HONORING THE LIVES LOST ON JUNE 24, 1971, IN A TUNNEL EXPLOSION TAKING SEVENTEEN LIVES, ONE METROPOLITAN EMPLOYEE AND SIXTEEN EMPLOYEES FROM LOCKHEED.
- ◆ = A BRICK LINE DEPICTING THE OLD CHINATOWN BOUNDARY FROM 1887.

MWD CONTROL POINTS:

- 23859 LEAD AND TAG, STAMPED "LS 5113", FLUSH IN CONCRETE, PER R.S.B. 166/041 AND JOB NUMBER 98-350.
N= 1842570.49
E= 6490032.59
- 23868 1-1/2" IRON PIPE WITH TAG IN CONCRETE, STAMPED "LS 5113", IN DIRT, PER R.S.B. 166/041 AND JOB NUMBER 98-350.
N= 1842686.40
E= 6490053.46

NOTES:

1. THIS MAP REPRESENTS DATA OBTAINED FROM A FIELD SURVEY PERFORMED BY MWD PERSONNEL IN JULY 2020, USING 3D SCAN SURVEYING METHODS, MWD SURVEY JOB NUMBER 20-095, MWDFB 2601-01/105-108.
2. HORIZONTAL CONTROL FOR THIS TOPOGRAPHIC MAP IS BASED UPON THE CALIFORNIA COORDINATE SYSTEM, NAD83 ZONE 5 (1991.35 EPOCH), MWD SURVEY JOB NUMBER 98-350.

LEGEND:

- OH — CANOPY / OVERHANG
- X — X — EXISTING GATE
- P — P — PROPERTY LINE
- PROPOSED EASEMENTS
- X — X — PROPOSED SECURITY GATE & COURTYARD CLOSURE
- ▨ BUILDING / STRUCTURE
- ▨ LANDSCAPED AREA
- O — DOOR / GATE
- SMH SEWER MANHOLE

ACQUISITION AREA:

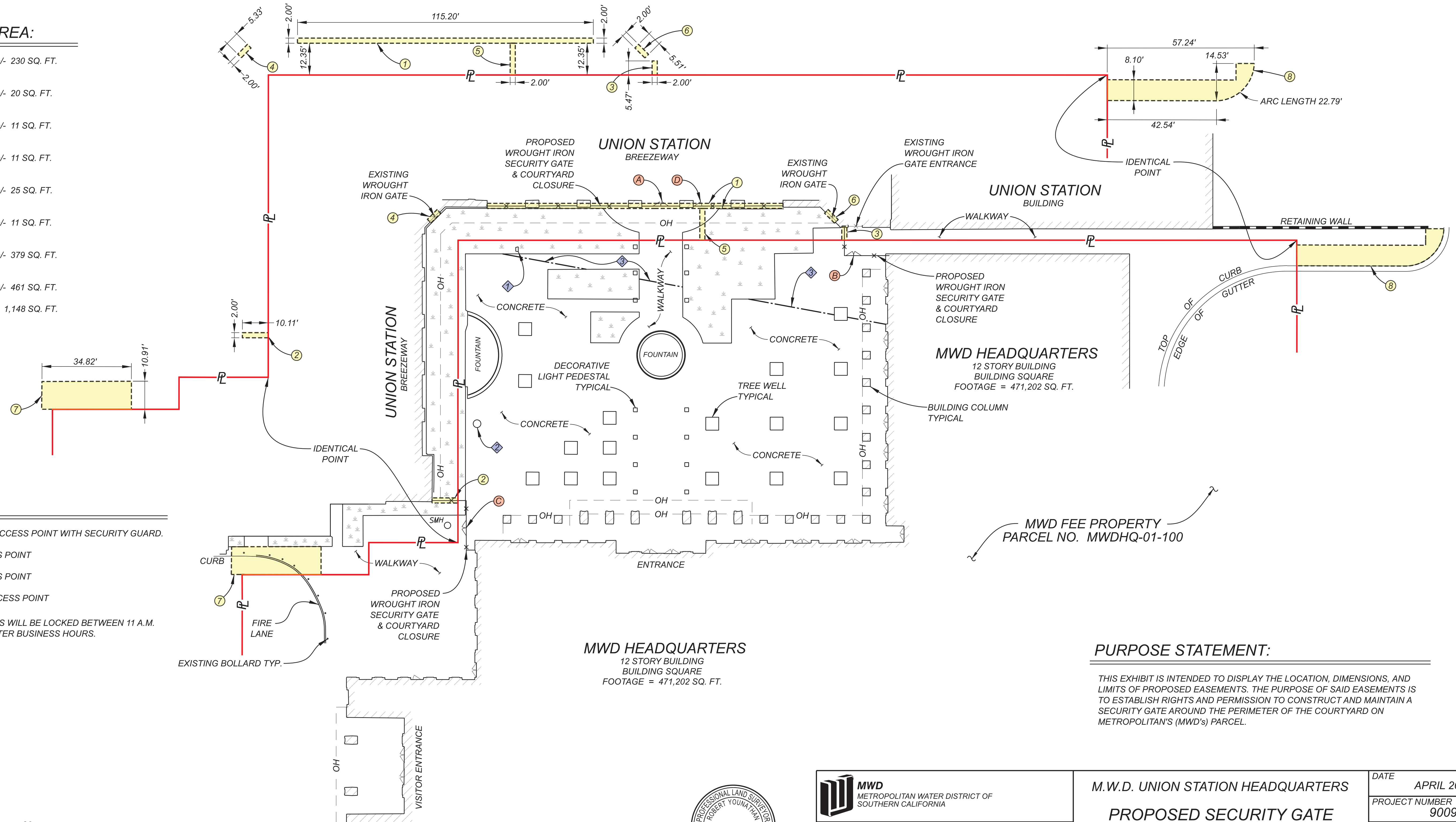
- ① CONSTRUCTION = +/- 230 SQ. FT.
 - ② CONSTRUCTION = +/- 20 SQ. FT.
 - ③ CONSTRUCTION = +/- 11 SQ. FT.
 - ④ CONSTRUCTION = +/- 11 SQ. FT.
 - ⑤ CONSTRUCTION = +/- 25 SQ. FT.
 - ⑥ CONSTRUCTION = +/- 11 SQ. FT.
 - ⑦ CONSTRUCTION = +/- 379 SQ. FT.
 - ⑧ CONSTRUCTION = +/- 461 SQ. FT.
- TOTAL = +/- 1,148 SQ. FT.

GATE ACCESS:

- Ⓐ = ENTRY AND EXIT ACCESS POINT WITH SECURITY GUARD.
- Ⓑ = EXIT ONLY ACCESS POINT
- Ⓒ = EXIT ONLY ACCESS POINT
- Ⓓ = AFTER HOURS ACCESS POINT

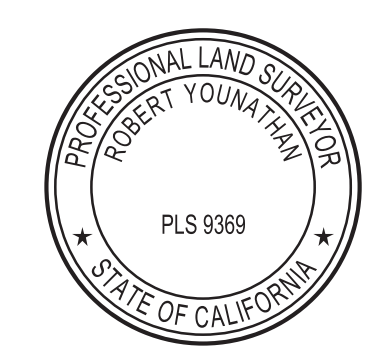
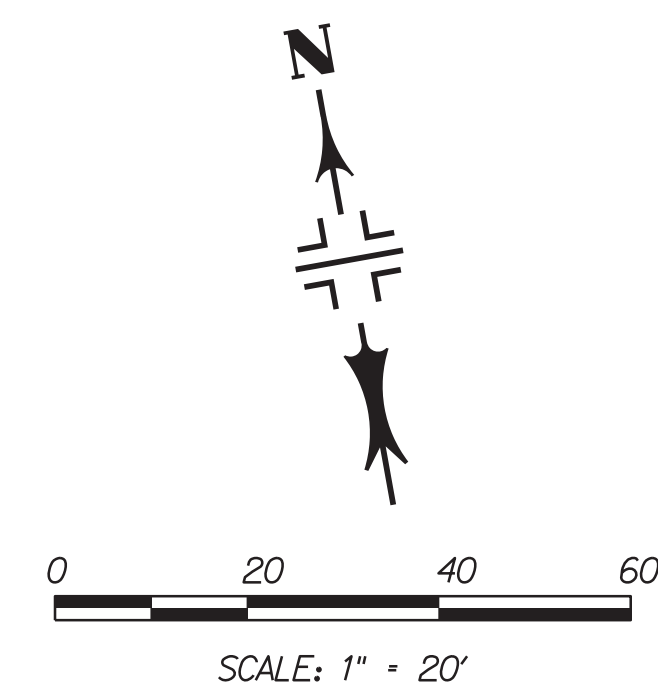
NOTE: ALL ACCESS POINTS WILL BE LOCKED BETWEEN 11 A.M. AND 2 P.M. DAILY, AND AFTER BUSINESS HOURS.

DETAIL OF PROPOSED EASEMENTS



PURPOSE STATEMENT:

THIS EXHIBIT IS INTENDED TO DISPLAY THE LOCATION, DIMENSIONS, AND LIMITS OF PROPOSED EASEMENTS. THE PURPOSE OF SAID EASEMENTS IS TO ESTABLISH RIGHTS AND PERMISSION TO CONSTRUCT AND MAINTAIN A SECURITY GATE AROUND THE PERIMETER OF THE COURTYARD ON METROPOLITAN'S (MWD'S) PARCEL.



MWD METROPOLITAN WATER DISTRICT OF SOUTHERN CALIFORNIA		
SURVEYED	VERTICAL DATUM	SURVEY JOB NUMBER
MS, EM	N/A	20-111
DRAWN	HORIZONTAL DATUM (EPOCH)	CCS ZONE
RDY	NAD83 (1991.35)	5
CHECKED	LATITUDE	LONGITUDE
NDE	34.055411	-118.236214

M.W.D. UNION STATION HEADQUARTERS PROPOSED SECURITY GATE IMPROVEMENTS EXHIBIT MAP	
DATE	APRIL 2021
PROJECT NUMBER	900986
SHEET	1 OF 1
DWG	B-171000
REV	6